

A Community For Generations.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, JANUARY 15, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8
 - A. Election of 2019 Chair
 - B. Election of 2019 Vice-Chair
 - C. Election of 2019 Secretary
 - D. Adoption of 2019 Planning Commission Meeting Dates

3. Approval of Minutes from December 4, 2018 Planning Commission Meeting

4. Review Conflict of Interest Policy

5. Consideration of: Final Plat of Heritage Estates Subdivision

6. Discussion Items.
 - A. None

7. Adjournment



Ryan J. Kernosky, MPA
Municipal Consultant

ryan@municipalgroup.org
715-212-0416

MEMORANDUM

TO: Isanti Planning Commission
FROM: Ryan Kernosky, Contract City Planner
DATE: January 15, 2019

RE: **ORGANIZATIONAL MEETING OF THE PLANNING COMMISSION**

Request: City staff has requested that the Planning Commission adopt the attached Resolution appointing various individuals to roles. Within the attached Resolution, we also request that you adopt the 2019 meeting schedule.

Background: Each January, it's appropriate to organize our Planning Commission. As such, we will be having elections of the following positions for Planning Commission:

- 1) Chair (was Mayor Wimmer, now Vacant)
- 2) Vice-Chair (currently Councilman Lundeen)
- 3) Secretary (City Staff)

Furthermore, we will be adopting the 2019 Planning Commission Meeting Dates (enclosed).

Please let me know if you have any questions.

Attachments:

- Planning Commission Resolution No. 2019-001

**PLANNING COMMISSION OF THE CITY OF ISANTI, MINNESOTA
RESOLUTION NO. 2019-001**

**A RESOLUTION APPOINTING COMMITTEE ROLES AND ADOPTING THE 2019
PLANNING COMMISSION MEETING SCHEDULE**

WHEREAS, each January, it's appropriate to reorganize the Planning Commission and to adopt the 2019 Meeting Schedule, and,

WHEREAS, the Planning Commission met on January 15, 2019 for a regularly scheduled meeting.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Isanti, the following Commissioners are hereby appointed to the following roles:

- Chairman: Mayor Jeff Johnson
- Vice-Chairman: Commissioner Lundeen
- Secretary: Community Development Director or Designee

BE IT FURTHER RESOLVED that the 2019 Meeting Schedule of the Planning Commission (attached as Exhibit A hereto) is hereby adopted, but subject to change at the discretion of the Chairman.

Adopted by the Isanti Planning Commission this 15th day of January, 2019.

ATTEST

Chairman Jeff Johnson

Don Lorsung
Acting Secretary

EXHIBIT A

2019 Planning Commission Public Hearing Deadlines and Dates

The City Planning Commission shall hold regular meetings immediately following the 2nd 7:00 p.m. City Council Meeting on the 3rd Tuesday of every month at Isanti City Hall. All meetings are held at Isanti City Hall at 110 1st Avenue NW, Isanti, MN 55040 in the City Council Chambers. The 2019 scheduled meeting dates and deadlines are below:

Date	Deadline for Submission**	Public Hearing Deadline	PH Publication Date
January 15th	December 14th	December 28th	January 3rd
February 19th	January 18th	February 1st	February 7th
March 19th	February 22nd	March 1st	March 7th
April 16th	March 22nd	March 29th	April 4th
May 21st	April 19th	May 3rd	May 9th
June 18th	May 18th	May 31st	June 6th
July 16th	June 21st	June 21st	June 27th
August 20th	July 19th	August 2nd	August 8th
September 17th	August 23rd	August 30th	September 5th
October 15th	September 20th	September 27th	October 3rd
November 19th	October 18th	November 1st	November 7th
December 17th	November 15th	November 29th	December 5th

** All deadlines for submission are subject to change at the direction of the Community Development Director

CITY OF ISANTI
SPECIAL PLANNING COMMISSION MINUTES
DECEMBER 4, 2018

3

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:24 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Ross Lorinser, Paul Bergley, Steve Lundeen, Arissa Simon.

Members Absent: Joey Lemay (excused), Dan Collison.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there were no agenda modifications

2. Approval of the Agenda

Motion by Lundeen, seconded by Bergley to adopt the agenda, approved unanimously.

3. Approval of the Minutes from the November 20, 2018 Planning Commission

Motion by Lundeen, seconded by Bergley to approve the minutes from the November 20, 2018 Planning Commission meeting, approved unanimously.

4. Public Hearings

A. Request from Level Contracting, LLC for a Planned Unit Development of "Heritage Estates" subdivision for the properties legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.

Director Kernosky stated that during the last Planning Commission meeting the Commission reviewed the conceptual plan for a Planned Unit Development for Heritage Estates, a proposed 50-lot subdivision near the Intermediate School. Kernosky stated the attached Resolution is consistent with comments made during the conceptual review of the PUD.

Mayor Wimmer opened the public hearing at 7:26 pm.

No one spoke during the public hearing.

Mayor Wimmer closed the public hearing at 7:26 pm.

Motion by Lundeen, second by Lorinser to approve the Planned Unit Development of "Heritage Estates." Motion passed unanimously.

5. 2019 Planning Commission Tentative Schedule

Motioned by Bergley, second by Lundeen to approve the 2019 tentative schedule for Planning Commission. Motion passed unanimously.

6. Adjournment

Motion by Bergley, second by Lundeen to adjourn the December 4, 2018 special meeting of the Planning Commission. Motion was unanimously approved. The meeting adjourned at 7:27 p.m.

Dated at Isanti, Minnesota this 6th day of December, 2018.

Respectfully submitted,



Ryan Kernosky
Community Development Director



Ryan J. Kernosky, MPA
Municipal Consultant

ryan@municipalgroup.org
715-212-0416

MEMORANDUM

TO: Isanti Planning Commission
FROM: Ryan Kernosky, Contract City Planner
DATE: January 15, 2019

RE: **REVIEW OF CONFLICT OF INTEREST POLICY**

Request: City staff has requested that City Attorney Clark Joslin review the City's Conflict of Interest Policy with the Planning Commission.

Background: It is common for the City Planning Commission to review the conflict of interest policy during the January Organizational meeting of the Commission. Attorney Joslin will be on hand to present to the Commission. No action is required by the Planning Commission.

Attachments:

- Resolution No. 2019-XXX Approving the City of Isanti Conflict of Interest Policy.

RESOLUTION NO. 2019-XXX

CITY OF ISANTI CONFLICTS OF INTEREST POLICY

Purpose

The City Council of the City of Isanti confirms its determination that ethical standards among the Mayor and Council Members and members of the various Boards and Commissions and employees of the City (Public Officials) are essential to the proper conduct of City affairs. By eliminating conflicts of interest and providing a guide for conduct in City matters, the City Council strives to promote the faith and confidence of the citizens of the City in their government. The following standards of conduct are intended to serve as a guideline for Public Officials in carrying out their responsibilities. This Policy is in addition to any statutory requirements, Attorney General Opinions or court rulings, which prescribe allowable actions for Public Officials.

Definition

Public Officials shall be defined as follows:

- Mayor
- City Council
- Planning Commission
- Economic Development Authority
- Parks, Recreation, and Culture Board
- City Administrator
- Human Resources / City Clerk
- Finance Director / Treasurer
- Economic Development Director
- Community Development Director
- Public Services Director / Assistant City Administrator
- Chief of Police
- Liquor Store Manager
- Building Official
- City Attorney
- City Engineer
- Other employees of the City of Isanti

Standards of Conduct

1. Public Officials, City employees, and Police Reserve members:
 - a) Shall not use their positions to secure special privileges or exemptions for themselves or others to intentionally jeopardize the position of employment of others;
 - b) Shall not engage in, solicit, negotiate for, or promise to accept private employment nor shall they render services for private interests or conduct a private business when

such employment, service, or business creates a conflict with or impairs the proper discharge of their official duties;

- c) Shall not participate in deliberations in any matter before the Council, Board or Commission, which affects that Public Official's, Public Official's spouse or minor child's financial interests directly or indirectly or those of a business, profession or occupation with which the Public Official is associated. Whenever such conflict is recognized, the affected Public Officials shall disclose in writing such interest prior to any discussion or vote and disqualify themselves from any further involvement pertaining to the issue;
 - d) Shall not act as agent or attorney for another in any matter before the Council or any Board or Commission or before any court or administrative board in any matter in which the City is a party;
 - e) Shall not directly or indirectly receive, or agree to receive, any compensation, gift or reward or gratuity as an inducement to support or influence any matter or proceeding connected with, or related to, the duties of the office; The following types of gifts are permitted under exceptions to the law:
 - 1) Lawful campaign contributions.
 - 2) Services to assist an official in the performance of official duties.
 - 3) Services of insignificant monetary value.
 - 4) A plaque or similar item.
 - 5) A trinket or item of insignificant monetary value.
 - 6) Informational material of unexceptional value.
 - 7) Food or beverage given at a reception, meal, or meeting by an organization before whom the recipient makes a speech or answers questions as part of a program (this exception is only available if the location of the reception, meal, or meeting is away from the recipient's place of work).
 - 8) Gifts given because of the recipient's membership in a group.
 - 9) Gifts between family members.
 - f) Shall not disclose to others or use to further their personal interest confidential information acquired by them in the course of their official duties.
2. Any Public Official who is an officer, director, partner, agent, proprietor or employee of any firm or has a proprietary interest of 10 percent (10%) or more in any company, business, enterprise or corporation, partnership, labor union or association doing business

with the City shall make known that interest in writing as provided in the disclosure section of this Policy.

3. No Public Official nor business entity that the Public Official has a financial interest in, in excess of 10 percent (10%), shall enter into any contract with the City unless otherwise authorized by law.
4. Public Officials shall disclose to the governing body any relationship to another person or entity in any instance where there is a conflict of interest or could be the appearance of a conflict of interest.
5. Public Officials shall not have a personal financial interest in any sales, lease, or contract that they are authorized to make in their official capacities.
6. A Public Official shall not hold two positions if the positions' functions are incompatible with one another.

Disclosures

Public Officials, elected or appointed and employees serving as Department Heads or Supervisors, shall, no later than thirty (30) days following election or appointment to office and each year thereafter by February 1, complete the Disclosure Form and return it to the City Administrator. All subsequent applicants for appointment on Boards and Commissions shall file a completed Disclosure Form together with the application form. Within thirty (30) days after the acquisition or sale of any property, each Public Official shall file as a public record with the City Administrator, a list of all real property in the City owned by such person, that person's spouse, or minor child, or in which the Public Official has a beneficial interest, disclosing each individual item held, and by whom. Homestead shall be excluded from the above disclosure. Each Public Official shall disclose all positions as officer, director, partner, agent, proprietor or employee of any firm in which such Public Official has a proprietary interest of ten percent (10%) or more in any company, business, enterprise, corporation, partnership, labor union or association doing business with the City, and indicate with respect to each such relationship whether services are gratuitous or for compensation.

Disclosure Form

The disclosure information required by this Policy shall be set forth on a form which shall be made available by the City Administrator and is part of this Policy.

Discipline

Upon a signed written complaint of any person questioning adherence to this Policy or on the Council's own volition, the Council shall refer the matter to the City Attorney for investigation and the City Attorney shall report the results of the investigation to the Council within forty-five (45) days thereafter. A copy of such report shall be furnished to the person complained against. Such person may request a hearing on this matter before the Council which request shall be filed with the City Administrator not later than ten (10) days following receipt by such person of the City Attorney's report.

Upon receipt of the City Attorney's report and at the conclusion of any hearing on the matter, the Council by majority vote may dismiss the complaint as having no merit, may adopt a resolution of censure, or with respect to members of Boards and Commissions, the Council may remove a member from such Board or Commission. In the event the complaint is against a member of the Council, such member shall not participate in the Council's deliberations or vote on the issue.

Violations

Any Public Official who violates the Conflict of Interest Law can be found guilty of a gross misdemeanor, be fined up to \$3,000, and imprisoned for up to one year. Any contract that has been made illegally is void.

This Resolution is hereby approved by the Isanti City Council this 7th day of January, 2019.

Attest:

Mayor Jeffrey Johnson

Katie Brooks
Human Resources/City Clerk

(SEAL)

DISCLOSURE FORM

Public Officials of the City of Isanti are required to complete and file this Disclosure Form with the City Administrator in accordance with the provisions of the Conflicts of Interest Policy.

1. Affiliations with Agencies Doing Business with the City

Identify all positions as officer, director, partner, proprietor or employee of any firm or proprietary interest of ten percent (10%) or more in any company, business, enterprise, corporation, partnership, labor union or association doing business with the City.

<u>Name of Organization</u>	<u>Position Held</u>	<u>Compensation Involved</u>
_____	_____	Yes _____ No _____
_____	_____	Yes _____ No _____
_____	_____	Yes _____ No _____

2. Real Property Owned in the City of Isanti

Identify real property items owned or being purchased by a Public Official, spouse, or child, or in which the Official has a beneficial interest. The actual value of any item is not required.

(Exclude homestead property.)

<u>Property Item</u>	<u>Address</u>	<u>PID #</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

3. Assets

Identify all ownership or beneficial interests in any company, business, enterprise, corporation, partnership, labor union or association doing business with the City where such interest exceeds ten percent (10%) of the total ownership.

Name of Organization

Public Official and/or Applicant:

Date: _____

Please provide the following information:
(Please Print)

Received by the City Administrator/designee on: _____



Ryan J. Kernosky, MPA
Municipal Consultant

ryan@municipalgroup.org
715-212-0416

MEMORANDUM

TO: Isanti Planning Commission
FROM: Ryan Kernosky, Contract City Planner
DATE: January 15, 2019

RE: **FINAL PLAT OF HERITAGE ESTATES SUBDIVISION**

Request: Final Plat approval from Level Contracting, LLC for Heritage Estates Subdivision, located on Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.

Background: Level Contracting, LLC (“applicant”) has submitted and paid all applicable fees for the development of a 50-lot subdivision located on Outlots A, B, & D of the Sun Prairie First Addition. This development is located along Cherrywood Ln NE and 9th Ave NE. The City Planning Commission has had the opportunity to review this project on several occasions, including during the public hearings held on the Preliminary Plat and Planned Unit Development (PUD), both done in November 2018. Both the Preliminary Plat and PUD have also been reviewed and approved by the City Council.

This area was originally developed for 61 attached townhomes, but due to a number of factors, that project was never completed. The proposed development will be 30 detached townhomes and 20 split or rambler homes.

Unique Characteristics: Because this development was slated for townhomes with private roads and private sewer and water lines, public sewer and water mains have been installed (at the time of the original development) within the aforementioned roadways. There are no public laterals from the water and sewer mains. Because of that, the developer is proposing to have private utility lines that would be in the front yards of the homes and have laterals from those lines into the homes off of the private lines.

Comprehensive Plan: This area is identified as “Medium Density Residential” in the 2008 Comprehensive Plan of the City of Isanti. I believe that this development is consistent with the future land use plan of this area.

Preliminary Plat: Commissioners and the City Council reviewed the Preliminary Plat in November 2018. At that time, the City required the following conditions:

- 1) The developer must enter into a development agreement with the City of Isanti

- 2) Final plat must have a 30' wide utility easement along both sides of Cherrywood Ln NE, 8th Ave NE, and the west-side of 9th Ave NE
- 3) Developer must address all items in the letter dated October 25, 2018 from the City Engineer and City Planner
- 4) Developer must provide proof of ownership prior to the final platting of the property
- 5) Developer must provide additional right-of-way to Isanti County for future intersection improvements at Heritage Blvd (CSAH 5) and 8th Ave NE.

The developer has satisfied conditions 2, 3, 4, and 5 of the resolution. Condition 1 will be addressed at a later date and will come to the City Council for final approval.

City Engineer Review: The City Engineer has reviewed the Final Plat submittal, and has recommended approval with the conditions addressed in the attached memo.

City Planner Review: I have reviewed the Final Plat for compliance with the directives and conditions of the City Planning Commission and City Council. I believe the Final Plat meets or exceeds the requirements set forth by the decision-making authorities.

Certification of Taxes Paid: Heritage Builders, LLC (a subsidiary of Level Contracting, LLC) has paid the 2018 taxes for this parcel. Prior to the Final Plat being submitted, I believe that the 2019 taxes on all parcels must be paid.

City Planner Recommendation: I recommend **APPROVAL** of the Final Plat with the following conditions:

- 1) The developer must enter into a development agreement with the City of Isanti
- 2) The developer must pay any outstanding taxes on all parcels subject to development
- 3) The developer must pay all outstanding development fees prior to Final Platting, as described in the development agreement
- 4) The developer must provide three full-sized mylars and one 11"x17" mylar to the City within 120 days of final approval of the Final Plat

Attachments:

- Resolution No. 2019-XXX Approving the Final Plat of Heritage Estates Subdivision
- Findings of Fact and Conclusion – Heritage Estates Subdivision Final Plat
- Final Plat of Heritage Estates



**BOLTON
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: December 20, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E.
City Engineer
Jason W. Cook, P.E.
Assistant City Engineer
Subject: Heritage Estates – Final Plat & Plan Review
City of Isanti, MN
Project No.: R13.115547

We have reviewed the Final Plat entitled “Heritage Estates” stamped “Preliminary Copy Unrecorded as of 12/17/2018” and received on 12/19/2018 for review. We have also reviewed the preliminary utility plans dated 10/18/2018 and submitted on 12/19/2018.

The site is located on the south side of Heritage Boulevard, along Cherrywood Lane NE, 8th Avenue NE and 9th Avenue NE.

The final plat includes 50 parcels for single family homes along existing roadways. Sanitary sewer, watermain and services are proposed as private utilities outside the City right of way and within a utility easement.

The following comments have not been addressed from the October 24, 2018 Preliminary Plat review memo:

1. Submit figure showing subcatchments and ponding areas used in the HydroCAD model.
2. Use a minimum 0.32% slope on 12-inch dual walled HDPE storm sewer pipe. (FES5, CB4)

We have reviewed the Final Plat and have the following comments:

1. Block 1, Lot 17 will need an extended easement area for curb stop access
2. Block 2, Lot 1 will need an extended easement area for curb stop access
3. The temporary cul-de-sac will need an easement description written to cover its foot print with language stating it will expire when the road is extended and the cul-de-sac is removed.

We have reviewed the submitted plans and have the following comments:

1. After evaluating the water system for stagnant water and flushing we have the following comments:
 - a. Reduce proposed watermain pipes to 6-inch diameter
 - b. Add Flushing Hydrants near mid-point of each looped watermain on all 3 blocks.
2. At approx. STA 4+50 keep fire hydrant on City owned watermain. Install bends to relocate hydrant as needed for proposed layout. Do not move it onto the new looped watermain.



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Fax: (763) 427-0833
Bolton-Menk.com

3. Shift all curb stops to fall on the utility easement line.
4. The sidewalk along 8th Avenue from Cherrywood Lane to Heritage Boulevard (CSAH 5) will need to be removed and replaced. Submit plans and typical sections.
5. The temporary cul-de-sac will be impacted due to the watermain connection. Submit plans and typical sections to replace.
6. Submit erosion control plan.

We recommend approval of the Final Plat and construction plans once the above items are addressed.

Please contact us if you have any questions.

RESOLUTION NO. 2019-XXX

**A RESOLUTION APPROVING THE FINAL PLAT FOR HERITAGE ESTATES
SUBDIVISION**

WHEREAS, Level Contracting, LLC has made application for Final Plat approval for Heritage Estates Subdivision, legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota; and,

WHEREAS, the Planning Commission of the City of Isanti held a public hearing during a Special Planning Commission meeting on November 2, 2018 for the Preliminary Plat of Heritage Estates and has recommended the Preliminary Plat approval; and,

WHEREAS, the City Council of the City of Isanti considered the Preliminary Plat on November 20, 2018 and approved said Preliminary Plat with conditions stipulated in associated Resolution; and,

WHEREAS, the City Planning Commission considered the Final Plat of Heritage Estates Subdivision during a regularly scheduled meeting on January 15, 2019 and has recommended approval with conditions.

NOW, THEREFORE, BE IT RESOLVED by the City of Isanti, Minnesota that it hereby adopts the Findings of Fact and Conclusion related to the requested Final Plat for Heritage Estates Subdivision and **BE IT FURTHER RESOLVED** that the requested Final Plat for Heritage Estates Subdivision be **APPROVED WITH CONDITIONS** as follows:

- 1) The developer must enter into a development agreement with the City of Isanti
- 2) The developer must pay any outstanding taxes on all parcels subject to development
- 3) The developer must pay all outstanding development fees prior to Final Platting, as described in the development agreement
- 4) The developer must provide three full-sized mylars and one 11"x17" mylar to the City within 120 days of final approval of the Final Plat

Adopted by the Isanti City Council this 5th day of February, 2019.

ATTEST

Mayor Jeff Johnson

Katie Brooks
City Clerk/Human Resources

FINDINGS OF FACT AND CONCLUSION

REQUEST: Request from Level Contracting, LLC for Final Plat approval of the Plat of Heritage Estates Subdivision, legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.

FINDINGS OF FACT: The City Council of the City of Isanti identifies the following Findings of Fact to be true and accurate.

- 1) Level Contracting, LLC (“applicant”) has made application for the Final Plat approval of Heritage Estates Subdivision.
- 2) Heritage Estates Subdivision is a development of single-family homes on the parcels legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.
- 3) The applicant is requesting a Final Plat for the creation of a 50-lot single-family residential development.
- 4) The property is zoned “R-3B” Medium-density multiple-family residential, with a more restrictive overlay zoning district “PUD” Planned Unit Development
- 5) The aforementioned PUD was approved through Resolution No. 2018-284 by the City Council of the City of Isanti for the purposes of the development of the Heritage Estates Subdivision.
- 6) The City Planning Commission and the City Council of the City of Isanti have reviewed and recommended approval of the Preliminary Plat of Heritage Estates Subdivision, with final approval of said Preliminary Plat occurring on November 20, 2018 per Resolution No. 2018-257.
 - a. The City Planning Commission held a public hearing pursuant to Ordinance 536 (Subdivision Code) of the Isanti City Ordinances on November 2, 2018.
 - b. All property owners within 350 feet of the subject parcels were notified of said public hearing, notice of public hearing was also published in the *Isanti County News*.
- 7) The Planning Commission has reviewed the Final Plat for consistency with the previously approved Preliminary Plat with conditions on January 15, 2019.
- 8) The Planning Commission has recommended approval of the Final Plat of Heritage Estates Subdivision to the City Council of the City of Isanti.

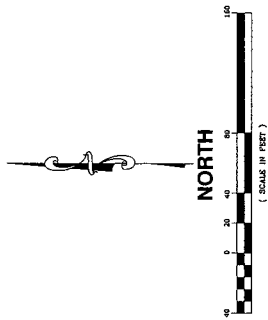
CONCLUSIONS: The City Council of the City of Isanti adopts the following conclusions of the Final Plat of Heritage Estates Subdivision.

- 1) The platting of the properties meet the lot and zoning requirements set forth in the Planned Unit Development of Heritage Estates Subdivision approved through Resolution No. 2018-284 and that of Ordinance 536 of the Isanti Code of Ordinances.

DECISION: The City Council of the City of Isanti considered this item at the **February 2, 2019** regularly scheduled meeting. The meeting minutes, staff memo, and exhibits will be made part of the Findings of Fact and Conclusion.

PLANNING COMMISSION RECOMMENDATION:

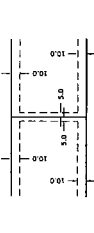
HERITAGE ESTATES



NOTE REGARDING WETLANDS: WETLANDS ARE A RESOURCE OF NATIONAL, STATE AND LOCAL INTEREST. THE FEDERAL, STATE AND LOCAL AGENCIES HAVE CATEGORIZED VARIOUS WETLANDS, WHICH ARE NOT NECESSARILY IDENTICAL TO WETLANDS AS DEFINED IN FEDERAL STATUTES AND MAY NOT BE SHOWN HEREON. DEVELOPMENT OF LANDS CONTAINING SAID WETLANDS MAY BE SUBJECT TO SPECIAL CONDITIONS OR RESTRICTIONS.

EASEMENT DETAIL

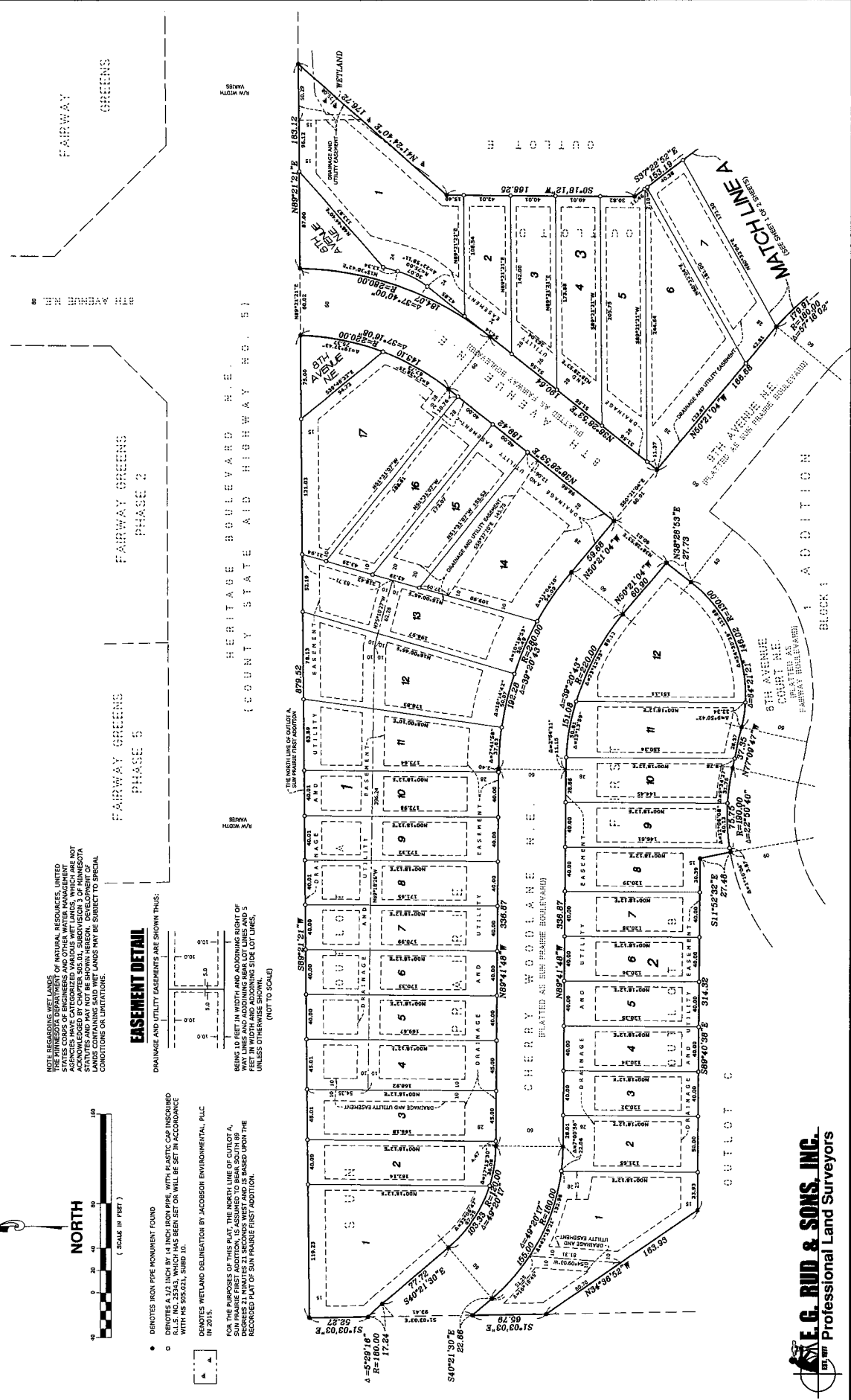
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:



FOR THE PURPOSES OF THIS PLAN, THE NORTH LINE OF OUTLOT A, HERITAGE BOULEVARD N.E.E. COUNTY STATE AID HIGHWAY NO. 51, SHALL BE THE NORTH LINE OF OUTLOT A, HERITAGE BOULEVARD N.E.E. COUNTY STATE AID HIGHWAY NO. 51, UNLESS OTHERWISE SHOWN SIDE LOT LINES, (NOT TO SCALE)

- DENOTES IRON PIPE MONUMENT FOUND
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE, WITH PLASTIC CAP INSCRIBED WITH MS 925-021, SUBD. 10.
- ▲ DENOTES WETLAND DELINEATION BY JACOBSON ENVIRONMENTAL, PLLC IN 2015.

FOR THE PURPOSES OF THIS PLAN, THE NORTH LINE OF OUTLOT A, HERITAGE BOULEVARD N.E.E. COUNTY STATE AID HIGHWAY NO. 51, SHALL BE THE NORTH LINE OF OUTLOT A, HERITAGE BOULEVARD N.E.E. COUNTY STATE AID HIGHWAY NO. 51, UNLESS OTHERWISE SHOWN SIDE LOT LINES, (NOT TO SCALE)



E. G. RUD & SONS, INC.
EST. 1917 Professional Land Surveyors

HERITAGE ESTATES

SEC. 29, T35N, R23W
CITY OF ISANTI
COUNTY OF ISANTI

KNOW ALL MEN BY THESE PRESENTS: That Level Contracting, LLC, a Minnesota limited liability company, owner, of the following described property situated in the State of Minnesota, County of Isanti, to wit:

Subd. A & D, SUN PRAIRIE FIRST ADDITION, Isanti County, Minnesota.
Has caused the same to be surveyed and platted as HERITAGE ESTATES and does hereby dedicate to the public for public use forever the public way and drainage and utility easements as shown on this plat.
In witness whereof said Level Contracting, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

LEVEL CONTRACTING, LLC
Montgomery L. Jensen, Chief Manager
STATE OF MINNESOTA
COUNTY OF ISANTI
The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by Montgomery L. Jensen, as Chief Manager of Level Contracting, LLC, a Minnesota limited liability company, on behalf of the company.

Notary Public, _____ County, Minnesota
My Commission Expires _____
Do Not Use Notary Stamp.

I, James E. Nagler, do hereby certify that I have surveyed and platted or directly supervised the survey and plating of the property described on this plat as HERITAGE ESTATES; that I am a duly licensed Land Surveyor in the State of Minnesota; that this plat is a correct and true and accurate representation of the survey and plating as shown on the plat; that all water boundaries and wet lands as defined in the Section 565.01, Subd. 3 existing as of the date of this certification are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

James E. Nagler, Land Surveyor
Minnesota Registration No. 25343
STATE OF MINNESOTA
COUNTY OF ANOKA
The foregoing Surveyor's Certificate was acknowledged before me this ____ day of _____, 20____, by James E. Nagler, Land Surveyor.

Notary Public, Anoka County, Minnesota
My Commission Expires _____
Do Not Use Notary Stamp.

CITY OF ISANTI - PLANNING COMMISSION
Recommended for approval by the Planning Commission of the City of Isanti, Minnesota, this ____ day of _____, 20____.

Chairman _____ Secretary _____
CITY OF ISANTI - CITY COUNCIL
Approved by the City Council of the City of Isanti, Minnesota this ____ day of _____, 20____, and is in compliance with the provisions of Chapter 306.03 Subdivision 2, Minnesota Statutes.

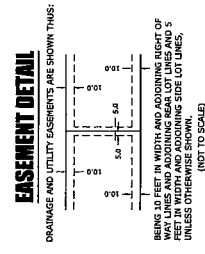
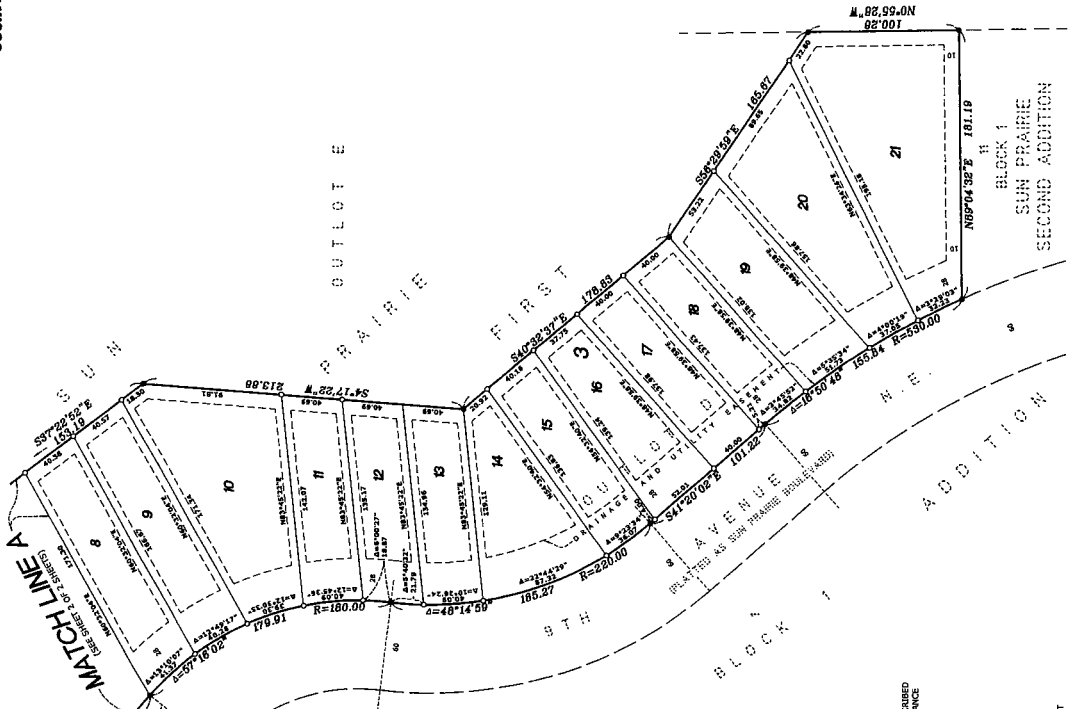
Mayor _____ City Administrator _____
CITY OF ISANTI - CITY ATTORNEY
This plat was approved as to form and execution this ____ day of _____, 20____.

Isanti City Attorney _____
CITY OF ISANTI - CITY ENGINEER
This plat was recommended for approval this ____ day of _____, 20____.

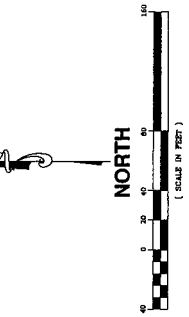
Isanti City Engineer _____
Isanti County Engineer
Isanti County Surveyor, Minn. License No. _____
Isanti County Auditor - TREASURER
I hereby certify that this plat has been checked and recommended for approval as to compliance with Chapter 505, Minnesota Statutes, this ____ day of _____, 20____.

Isanti County Auditor - Treasurer
By _____ Deputy
Isanti County Recorder
I hereby certify that this plat was filed in the Office of the County Recorder for record on this ____ day of _____, 20____, at _____, Minnesota, and was duly recorded in the Isanti County Records as Document Number _____.

Isanti County Recorder _____



BEING 10 FEET IN WIDTH AND ADDING RIGHT OF WAY TO BEING 5 FEET IN WIDTH AND ADDING SIDE LOT LINES, UNLESS OTHERWISE SHOWN. (NOT TO SCALE)



• DENOTES IRON PIPE MONUMENT FOUND
○ DENOTES A 1/2 INCH BY 1/4 INCH IRON PIPE, WITH PLASTIC CAP INSCRIBED WITH R.L.S. NO. 25343, WHICH HAS BEEN SET OR WILL BE SET IN ACCORDANCE WITH MS 305.021, SUBD. 2J.
FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF OUTLOT A, SUN PRAIRIE FIRST ADDITION, IS ASSUMED TO BEAR SOUTH 89° 00' 00" WEST 180.00 FEET TO THE POINT OF BEGINNING SHOWN ON THE RECORDED PLAT OF SUN PRAIRIE FIRST ADDITION.
NOTE REGARDING WETLANDS: WETLANDS ARE INDICATED BY UNFINISHED LINES. UNITED STATES CORPS OF ENGINEERS AND OTHER AGENCIES HAVE CATEGORIZED VARIOUS WETLANDS, WHICH ARE NOT NECESSARILY WETLANDS AS DEFINED IN FEDERAL STATUTES AND MAY NOT BE SHOWN HEREON. DEVELOPMENT OF LANDS CONTAINING SAID WETLANDS MAY BE SUBJECT TO SPECIAL CONDITIONS OR LIMITATIONS.

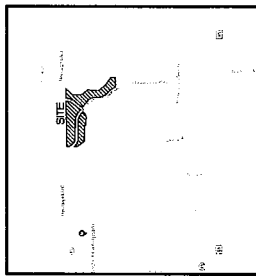


CERTIFICATE OF SURVEY

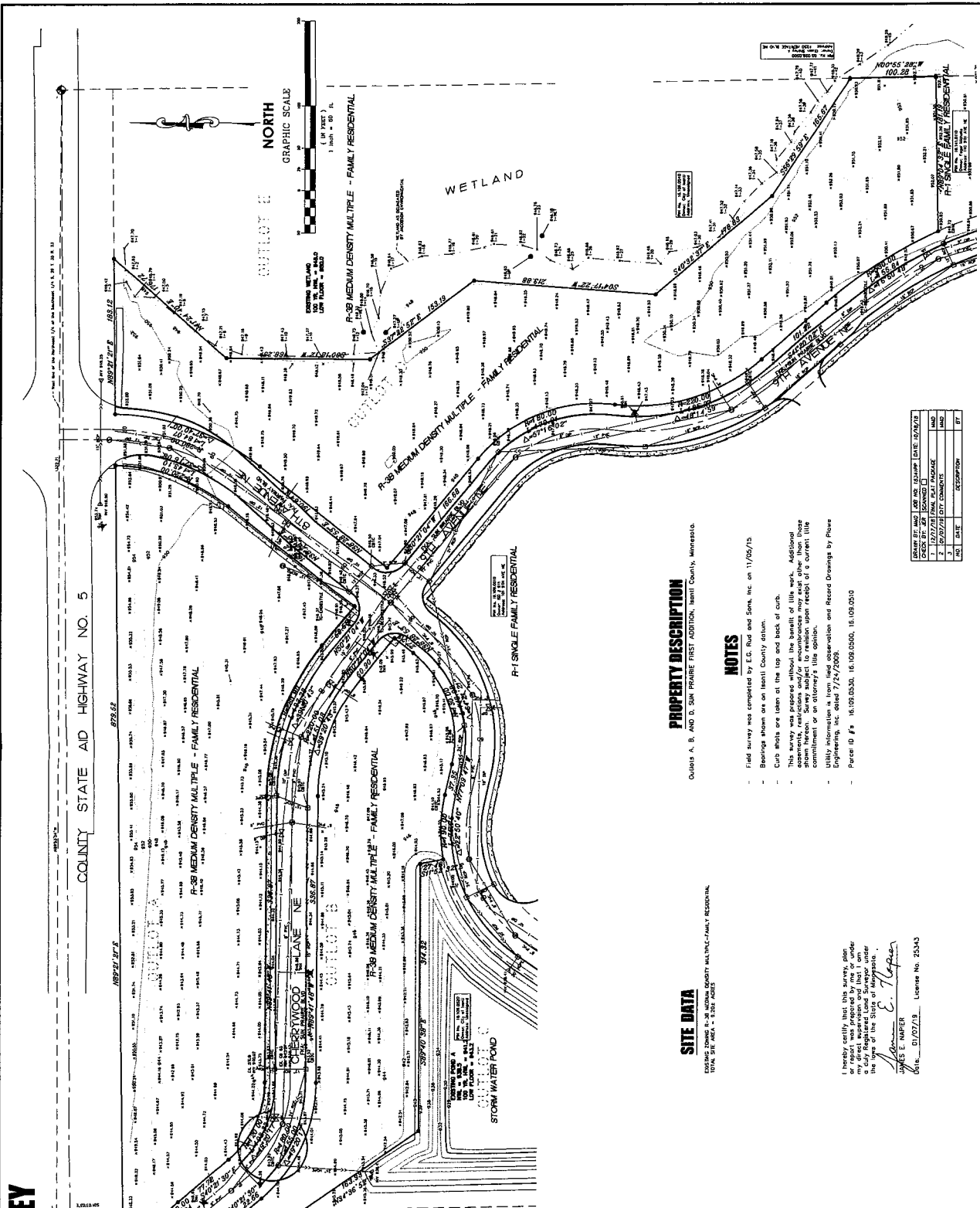
for HERITAGE ESTATES
LEVEL CONTRACTING, LLC
20891 145TH STREET NW
ELK RIVER, MN 55330
MONTY JENSEN
(218) 838-5608

VICINITY MAP

PART OF SEC. 29, TWP. 35, RANG. 23



ISANTI COUNTY, MINNESOTA
(NO SCALE)



PROPERTY DESCRIPTION

QUARTS A, B, AND D, SUN PRIME FIRST ADDITION, ISANTI COUNTY, MINNESOTA.

NOTES

- Field survey was completed by E.C. Rud and Sons, Inc. on 11/05/15
- Bearings shown on on Isanti County datum.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional verification of the boundaries and easements is the responsibility of the client. The survey is not intended to constitute an opinion of title or an attorney's title opinion.
- Utility information is from field observation and Record Drawings by Pave Engineering, Inc. dated 7/24/2005.
- Parcel ID #'s 16.09.0530, 16.09.0580, 16.09.0510

SITE DATA

EXISTING ZONING R-2B MEDIUM DENSITY MULTIPLE-FAMILY RESIDENTIAL
TOTAL SITE AREA = 9.505 ACRES

LEGEND

- DENOTES CATCH BASIN
- DENOTES STORM SEWER MANHOLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES EXISTING CONDUITS
- DENOTES UNLAWFUL EASEMENTS (PER ISANTI COUNTY TAX COMMISSION)

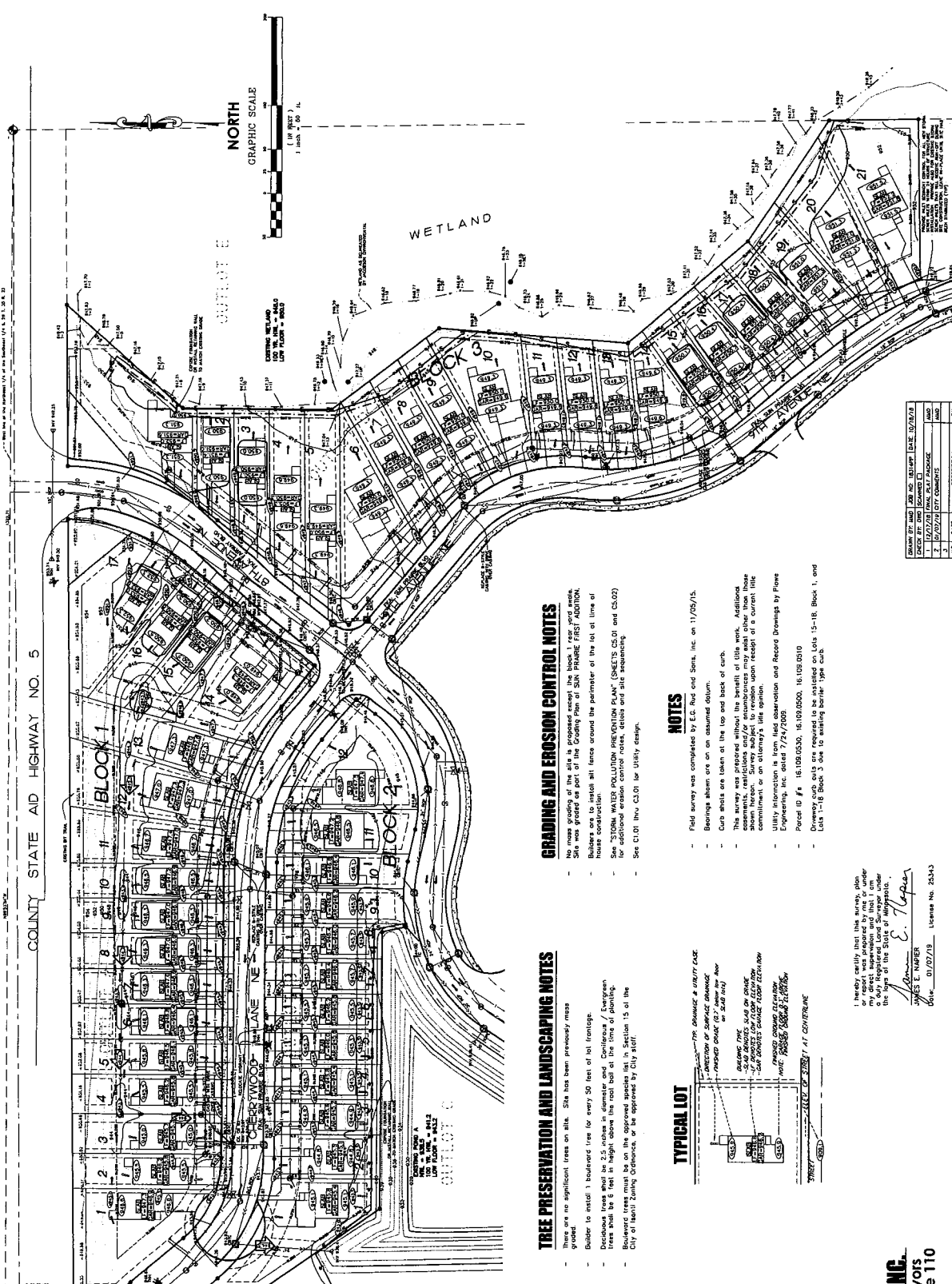
E.C. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel: (651) 381-8200 Fax: (651) 381-8701
www.ecrud.com

DATE	BY	DESCRIPTION
10/21/15	ECR	ISSUED FOR RECORD
11/05/15	ECR	FIELD SURVEY
11/05/15	ECR	PREPARED DRAWINGS

DEVELOPMENT AND EROSION CONTROL PLAN

of- HERITAGE ESTATES
-for- LEVEL CONTRACTING, LLC
20891 145TH STREET NW
ELK RIVER, MN 55330
MONTY JENSEN
(218) 838-5608

COUNTY STATE AID HIGHWAY NO. 5



LEGEND

- DENOTES PROPOSED CATCH BASIN
- DENOTES PROPOSED MANHOLE
- DENOTES PROPOSED SANITARY SEWER MANHOLE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES PROPOSED WATER MAIN
- DENOTES EXISTING CATCH BASIN
- DENOTES EXISTING STORM SEWER MANHOLE
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING 2 FOOT CONTOURS
- DENOTES BUILDING SETBACK LINE
- DENOTES PROPOSED SALT FENCE
- DENOTES PROPOSED SALT FENCE ADJACENT TO WETLAND
- DENOTES EMERGENCY OVERFLOW ELEVATION (MINIMUM 1' OF SEPARATION TO LOW FLOOR)
- DENOTES PROPOSED SPOT ELEVATION

TREE PRESERVATION AND LANDSCAPING NOTES

- There are no significant trees on site. Site has been previously mowed.
- Builder to install 1 boulevard tree for every 50 feet of lot frontage.
- Deciduous trees shall be 2.5 inches in diameter and, Coniferous / Evergreen trees shall be 4 feet in height above the root ball at the time of planting.
- All trees shall be planted in accordance with the specifications of the City of Leach's Zoning Ordinance, as approved by July 1, 2011.

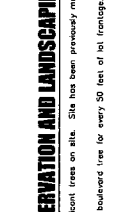
GRADING AND EROSION CONTROL NOTES

- No mass grading of the site is proposed except the blocks 1 road, yard areas.
- Site was graded as part of the Grading Plan of SUN PHARE FIRST ADDITION.
- Builders are to install all fences around the perimeter of the lot at line of house construction.
- See STORM WATER POLLUTION PREVENTION PLAN (SHEETS G501 and G502) for details on erosion control and sedimentation.
- See C1.01 thru C2.01 for utility details.

NOTES

- Field survey was completed by E.C. Rud and Sons, Inc. on 1/29/15.
- Bearings shown are on an assumed datum.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of this work. Additional assessments, partitions and/or encroachments may exist other than those shown. The engineer assumes no responsibility for such encroachments, partitions or an attorney's title opinion.
- Utility information is from field observation and Record Drawings by Pines Engineering, Inc. dated 7/24/2009.
- Parcel ID #s: 16.109.0530, 16.109.0500, 16.109.0510
- Driveway curb cuts are required to be installed on Lots 15-18, Block 1, and Lots 1-18 Block 3 due to existing barrier type curb.

TYPICAL LOT



I hereby certify that this survey, plan or report was prepared by me, or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

E. Jensen
MONTY JENSEN License No. 25343
Date: 01/27/15

PLOWE
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel: (651) 341-8280 Fax: (651) 341-8701

DATE: 01/27/2015 U.S. NO. 61680

www.egrud.com

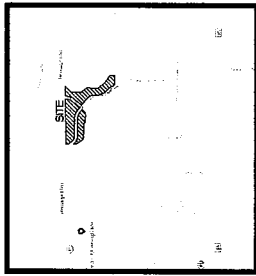
18341PF

PRELIMINARY PLAT

for HERITAGE ESTATES
LEVEL CONTRACTING, LLC
20891 145TH STREET NW
ELK RIVER, MN 55330
MONTY JENSEN
(218) 838-5608

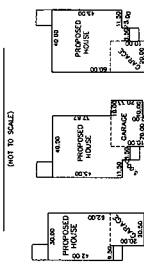
VICINITY MAP

PART OF SEC. 29, TWP. 35, R. 23



SANTI COUNTY, MINNESOTA
(NO SCALE)

TYPICAL HOUSE DETAIL

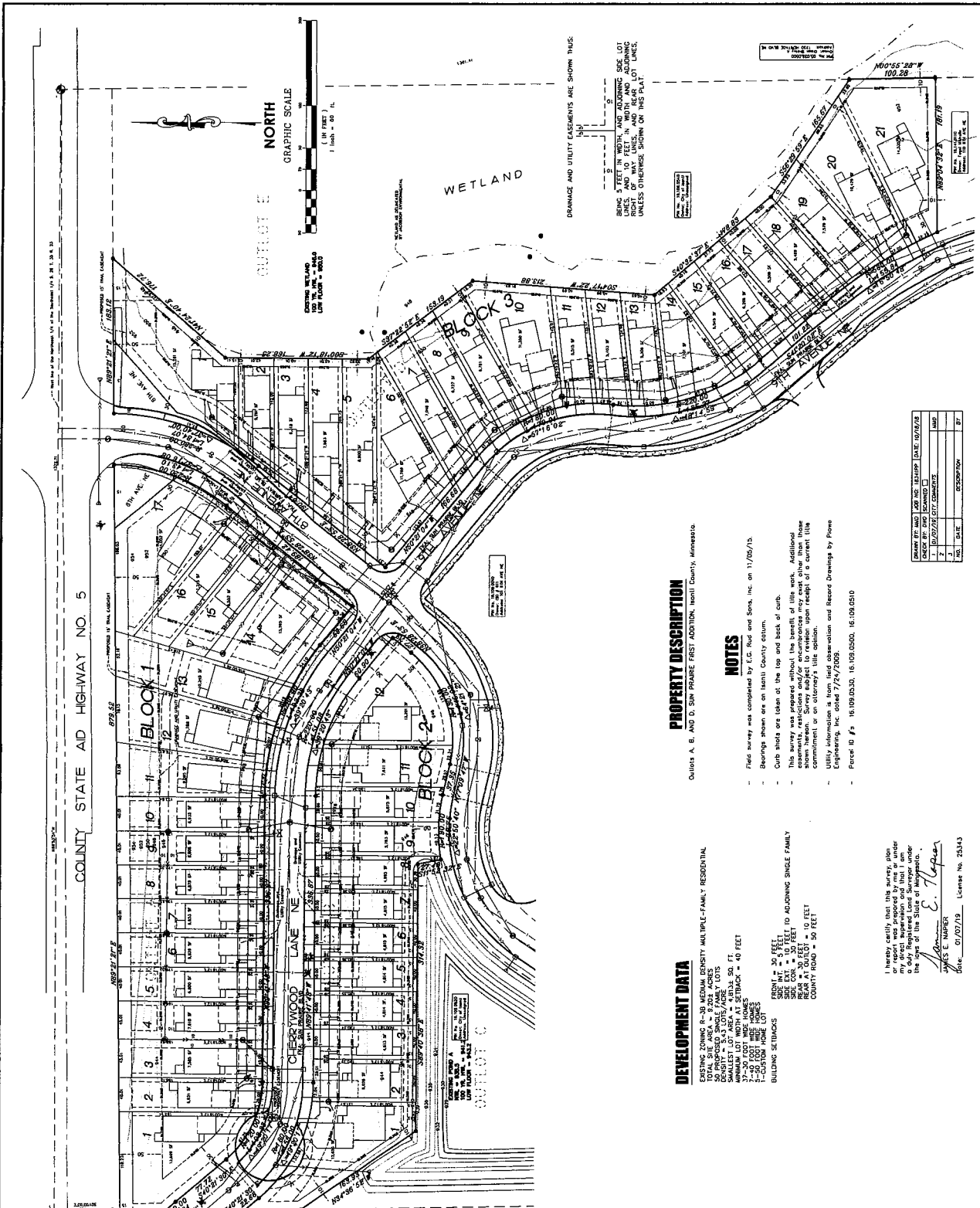


LEGEND

- DENOTES PROPOSED CATCH BASIN
 - DENOTES PROPOSED STORM SEWER MANHOLE
 - DENOTES EXISTING STORM SEWER MANHOLE
 - DENOTES PROPOSED SANITARY SEWER
 - DENOTES EXISTING SANITARY SEWER
 - DENOTES PROPOSED STORM SEWER
 - DENOTES EXISTING STORM SEWER
 - DENOTES PROPOSED CATCH BASIN
 - DENOTES EXISTING CATCH BASIN
 - DENOTES EXISTING STORM SEWER MANHOLE
 - DENOTES EXISTING SANITARY SEWER MANHOLE
 - DENOTES EXISTING WATER MAIN
 - DENOTES EXISTING GAS LINE
 - DENOTES EXISTING CONTIGUES
- FOR MORE DETAILS, PLEASE CONTACT INFORMATION
(PER SANTI COUNTY TAX INFORMATION)



E.G. RUD & SONS, INC.
Professional Land Surveyors
6778 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel: (651) 381-8200 fax: (651) 381-8701



PROPERTY DESCRIPTION

QUIGGS A. B. AND D. SUN PRANEE FIRST ADDITION, Scott County, Minnesota

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 11/05/13.
- Bearings shown are on Scott County datum.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional survey references may exist that are not shown here. Survey is subject to correction of errors (i.e. commitment or an attorney's title opinion).
- Utility information is from field observation and Record Drawings by Pione Engineering, Inc. dated 7/24/2009.
- Parcel ID #: 16.109.0530, 16.109.0560, 16.109.0510

DEVELOPMENT DATA

- EXISTING ZONING R-10 MEDIUM DENSITY MULTIPLE-FAMILY RESIDENTIAL
- 30 PROPOSED SINGLE-FAMILY LOTS
- SMALLEST LOT AREA = 4,813.33 SQ. FT.
- 37-50 FOOT WIDE ROADS
- 2-40 FOOT WIDE ROADS
- 1-CUSTOM HOME LOT
- BUILDING SETBACKS
- FRONT = 25 FEET TO ADJOINING SINGLE FAMILY
- SIDE CORNERS = 50 FEET
- REAR = 10 FEET
- COUNTY ROAD = 50 FEET

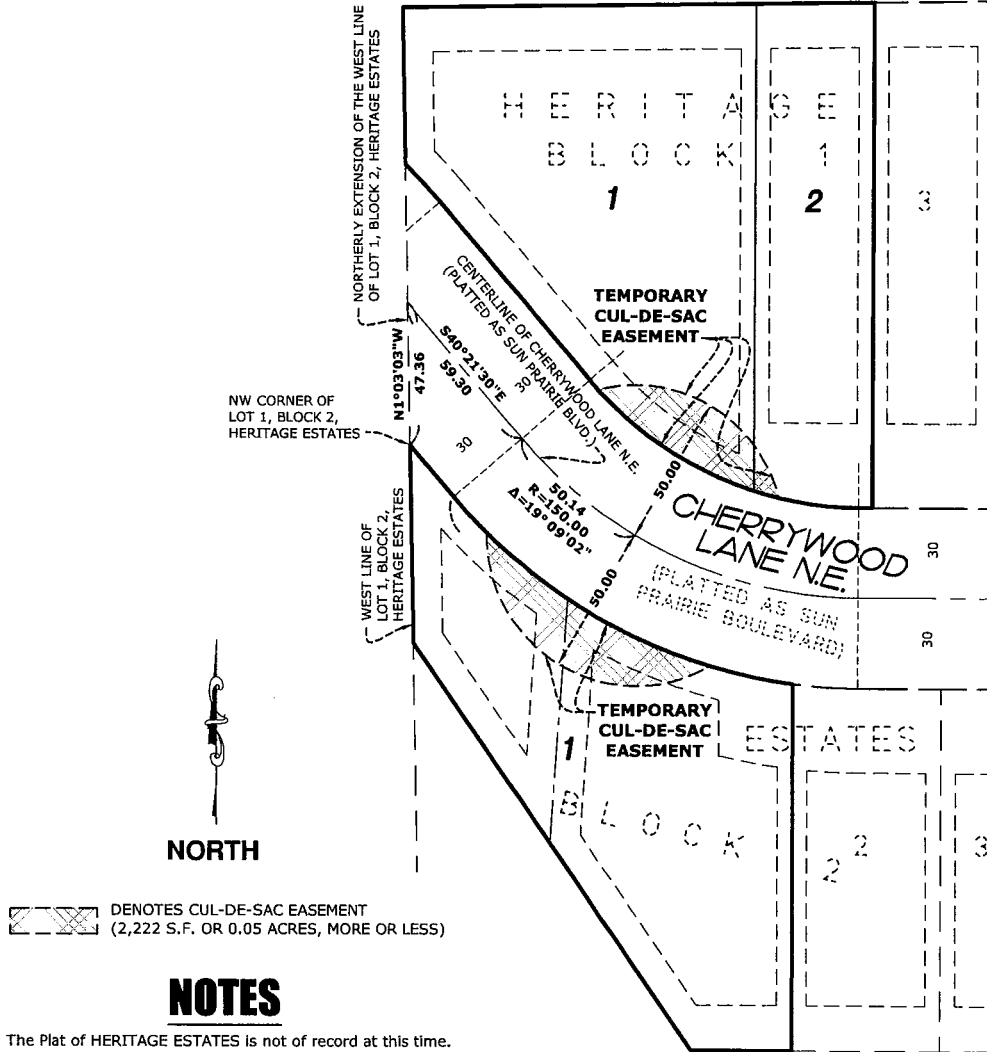
DATE	BY	DESCRIPTION
10/10/13	EGR	PRELIMINARY PLAT
10/10/13	EGR	FINAL PLAT
10/10/13	EGR	RECORD DRAWINGS

I hereby certify that this survey, plan or map was prepared by me or under my direct supervision and that I am a duly licensed Professional Land Surveyor in the State of Minnesota.
E. G. Rud
E. G. RUD & SONS, INC.
License No. 25343
Exp. 07/2019

SKETCH AND DESCRIPTION

~of~ TEMPORARY CUL-DE-SAC EASEMENT
FOR CHERRYWOOD LANE N.E.
~for~ HERITAGE ESTATES

HERITAGE BOULEVARD N.E.
(COUNTY STATE AID HIGHWAY NO. 5)



DESCRIPTION OF TEMPORARY CUL-DE-SAC EASEMENT FOR CHERRYWOOD LANE N.E.

A temporary easement for cul-de-sac purposes over, under and across those parts of Lots 1 and 2, Block 1, and Lot 1, Block 2, all in HERITAGE ESTATES, Isanti County, Minnesota, which lie within the circumference of a circle having a radius of 50.00 feet. The center of said circle is described as follows:

Commencing at the northwest corner of said Lot 1, Block 2; thence on an assumed bearing of North 01 degrees 03 minutes 03 seconds West, along the northerly extension of the west line of said Lot 1, Block 2, a distance of 47.36 feet to the centerline of Cherrywood Lane N.E. (Formerly known as Sun Prairie Boulevard per the plat of SUN PRAIRIE FIRST ADDITION.); thence South 40 degrees 21 minutes 30 seconds East, along said centerline, a distance of 59.30 feet; thence southeasterly a distance of 50.14 feet along said centerline and a tangential curve concave to the northeast, having a radius of 150.00 feet and a central angle of 19 degrees 09 minutes 02 seconds to the center of said circle.

Said temporary easement to expire once Cherrywood Lane N.E. is extended, all restoration is completed and the easement is no longer needed.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

By: James E. Popper
Minnesota License No. 25343

Dated 7th day of January 2019.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			

BEARING DATUM: Assumed

JOB NO. 18341PP

DRAWN BY: JEN

DATE: 01-07-19

SCALE: 1" = 40'

E. G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, FEBRUARY 19TH, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the January 15, 2019 Planning Commission Meeting

3. Public Hearings
 - A. None

4. Other Business
 - A. Presentation and Conceptual Review - Proposed Senior Housing Project

5. Discussion Items.
 - A. None

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
JANUARY 15, 2019**

2A

1. Meeting Opening.

A. Call to Order.

Mayor Johnson called the meeting to order at 7:52 p.m.

B. Pledge of Allegiance.

Everyone rose for the pledge of allegiance.

C. Roll Call.

Members Present: Jeff Johnson, Dan Collison, Steve Lundeen, Ross Lorinser, Paul Bergley and Arissya Simon.

Members Absent: None

Staff Present: City Administrator Don Lorsung, Assistant City Clerk/Human Resources Jaden Moore, City Attorney Clark Joslin

Others Present: Roderick Barrows and George Hemen.

D. Agenda Modifications.

Lorsung stated there were none.

2. Organization of Advisory Bodies as per the City Code of Ordinance Chapter 8.

A. Chair of Planning Commission.

Johnson requested nominations for the position of Chair of the Planning Commission.

Motion by Lundeen, second by Bergley to nominate Mayor Johnson as Chair of the Planning Commission. Motion was approved unanimously.

B. Vice-Chair of Planning Commission.

Chairman Johnson requested nominations for Vice Chair of the Planning Commission.

Motion by Lundeen, second by Bergley to nominate Councilor Lorinser as Vice Chair of the Planning Commission. Motion was approved unanimously.

C. Secretary of Planning Commission.

Chairman Johnson requested nominations for the Secretary of the Planning Commission.

Motion by Lundeen, second by Bergley to have Lorsung serve as the temporary Secretary of the Planning Commission until a new Community Development Director is named. Motion was unanimously approved.

D. Approve 2019 Planning Commission Meeting Dates.

Motion by Lorinser, second by Lundeen to approve the 2019 Planning Commission meeting dates. Motion carried unanimously.

3. Approval of Minutes from December 4, 2018 Planning Commission Meeting.

Motion by Collison, second by Bergley to approve the December 4, 2019 Planning Commission Meeting Minutes. Motion was unanimously approved.

4. Review of Conflict of Interest Policy

City Attorney Joslin reviewed the Conflict of Interest Policy with the Planning Commission.

4. Consideration of Final Plat of Heritage Estates Subdivision

Motion by Collison second by Simon to recommend approval of the request from Level Contracting, LLC for Final Plat Approval of Heritage Estates Subdivision, legally described as Outlots A, B and D, Sun Prairie First Addition, Isanti County, Isanti, Minnesota based on the Findings of Fact and Conclusions and the staff conditions as presented. Motion unanimously approved.

5. Other Business.

A. None.

6. Other Communications.

A. None.

7. Adjournment

Motion by Bergley second by Lundeen to adjourn the January 15, 2019 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 8:07 p.m.

Dated at Isanti, Minnesota this 17th day of January 2019.

Respectfully submitted,

Don Lorsung
Assistant City Administrator/Special Projects

municipalgroup.org

Ryan J. Kernosky, MPA
Municipal Consultant

ryan@municipalgroup.org
715-212-0416

MEMORANDUM

TO: Planning Commissioners
FROM: Ryan Kernosky, Contract City Planner
DATE: February 19, 2019

RE: **PRESENTATION AND CONCEPTUAL REVIEW – SUMMIT DEVELOPMENT SENIOR HOUSING**

Request: Request by City Planner Kernosky and Developer Peter Jesh to present findings of a housing study, conceptual building renderings and site design for a senior housing project in the City of Isanti.

Background: City staff has been working diligently with Peter Jesh of Summit Development to bring a senior housing project to the City. In January, Mayor Johnson and Assistant City Administrator Lorsung toured a similar facility in Cambridge. As a result of the tour and work done by staff, the Developer has asked to present the Plan Commission with the findings of their housing study, conceptual building renderings, and a conceptual site design.

Other Considerations: The developer has inquired about whether or not the City would be interested in possible pay-as-you-go TIF incentives. The EDA will take this into consideration at a later date, but for now, the Plan Commission should simply review the project.

Staff Request: I'm requesting the Plan Commission simply listen to the housing study and provide comment on the renderings and site design. No formal action is needed to be taken at this meeting. This will allow the developer to determine whether or not he is interested in continuing to pursue this project.

Attachments:

- Site Plan
- Building Renderings

CFB TRIM - SW 7557 SUMMER WHITE

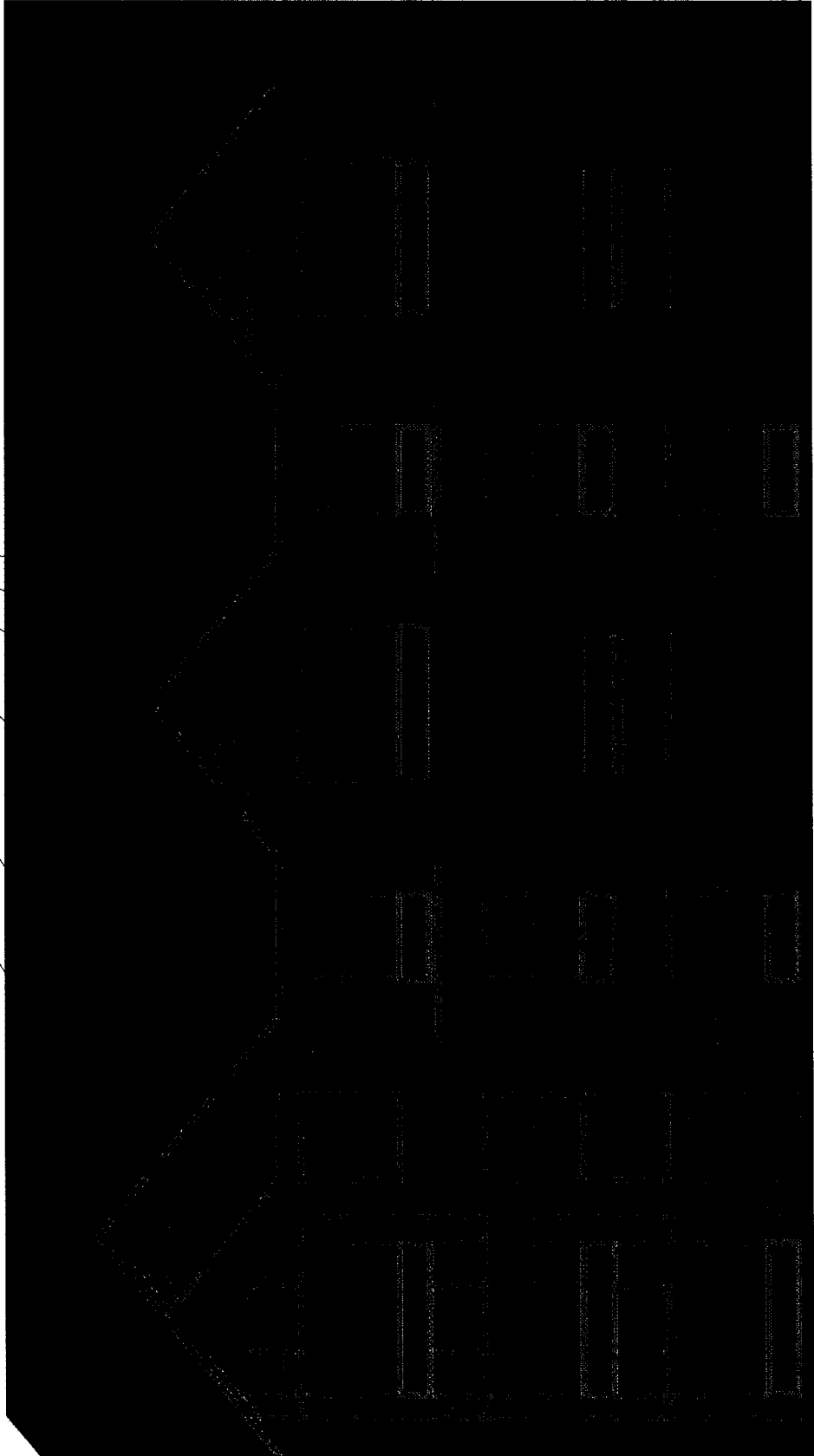
CFB LAP SIDING - SW 7509 TIKI HUT

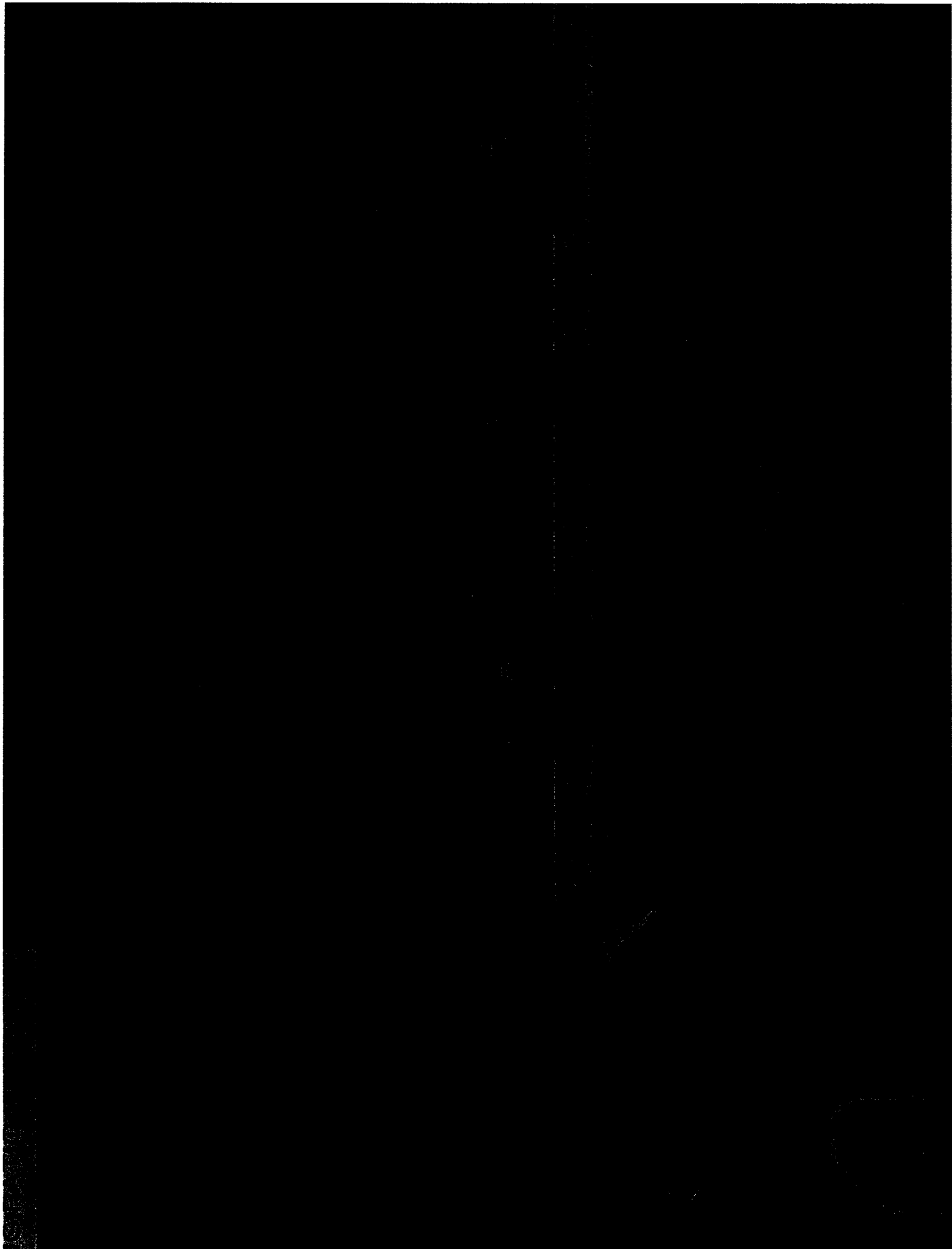
CFB PANEL SIDING - SW 9180 AGED WHITE

CFB SHAKE SIDING - SW 7046 ANONYMOUS

BRICK - MANGANESE VELOUR

STONE SILL





A Community For Generations.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, MARCH 19TH, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the February 19, 2019 Planning Commission Meeting

3. Public Hearings
 - A. Request from Dollar General, Inc. for approval of a Site Plan Review per Ordinance 445, Section 18, Subd. 2(A) for construction of a general retail establishment on PID 16.029.0900.

4. Other Business
 - A. None

5. Discussion Items.
 - A. Comprehensive Plan Update Timeline

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
FEBRUARY 19, 2019**

1. Meeting Opening.

A. Call to Order.

Chairman Johnson called the meeting to order at 8:00 p.m.

B. Pledge of Allegiance.

Everyone rose for the pledge of allegiance.

C. Roll Call.

Members Present: Jeff Johnson, Dan Collison, Ross Lorinser, and Paul Bergley.

Members Absent: Steve Lundeen and Arissya Simon

Staff Present: City Administrator Josi Wood, City Clerk/Human Resources Katie Brooks, Contracted City Planner Ryan Kernosky

Others Present: George Hemen.

D. Agenda Modifications.

Kernosky stated there were none.

2. Approval of Minutes from December 4, 2018 Planning Commission Meeting.

Motion by Collison, second by Bergley to approve the January 15, 2019 Planning Commission Meeting Minutes. Motion was unanimously approved.

3. Public Hearings

A. None

4. Other Business.

Kernosky introduced Mr. Pete Jesh, developer of a proposed 103 unit Senior Housing Project. The project would have 32 memory care units and 71 assisted living units. It would require a Conditional Use Permit and Site Plan Review. It meets setback requirements and is proposed as a 3 story building. The parking requirements as proposed, will meet City requirements. Mr. Jesh continued the presentation, stating the facility will have independent, as well assisted and memory care units. They plan to develop in phases, with 80 units in the first phase. Their facility in Cambridge filled up in the first year. The Commission asked questions concerning generational outlook, other facilities they developed, sites looked at and on-site amenities. Mr. Jesh indicated that they looked at 20-40 year generational span, and that this would be the 9th facility they have built. They looked at other sites in Isanti, but with the Clinic and Hotel, this is the best site. They would offer transportation to other Isanti facilities and he reviewed on-site amenities, including those open to the public including dining and a senior gym.

They are the developer and owner, and partner with Walker Methodist to operate the facility. The developer discussed the need for public assistance for the project, due to the rental rates for seniors with low incomes. Public financing options were discussed and Kernosky explained how TIF would work for the project. With it being planned as a 50 year building, the City would receive property taxes for a number of years once the TIF obligation was completed. The plan would be for “pay as you go” TIF, with the Developer constructing the project and the City reimbursing a portion of the property taxes for a specified number of years. The Commission further discussed the need for the project, public financing and next steps. The Commission indicated support for this project, as it addressed a definite need in the City. With that expression of support, the Developer to continue due diligence work regarding feasibility for the project and if they proceed, they will be in contact with the City on next steps.

5. Discussion Items

A. None

6. Other Communications.

A. None.

7. Adjournment

Motion by Lorinser second by Bergley to adjourn the February 19, 2019 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 8:32 p.m.

Dated at Isanti, Minnesota this 27th day of February 2019.

Respectfully submitted,

Don Lorsung
Assistant City Administrator/Special Projects

municipalgroup.org

Ryan J. Kernosky, MPA
Municipal Consultant

ryan@municipalgroup.org
715-212-0416

MEMORANDUM

TO: City Plan Commission
FROM: Ryan Kernosky, Contract City Planner
DATE: March 19, 2019

RE: **SITE PLAN REVIEW – DOLLAR GENERAL**

Request: Request from Overland Engineering, LLC for a Site Plan Review for a proposed Dollar General on PID 160290900 (corner of TH-65 and Palomino Rd SE).

Background: City Staff has been working with Overland Engineering (applicant) for several months as they have prepared to submit a plan set for a proposed Dollar General at the above address. The subject property is zoned B-2 "General Business District" with the TH-65 Overlay Zoning District. Per Isanti Zoning Ordinance Section 11, Article 5, Subdivision 3(L) *General Retail Establishments* is a permitted use in the TH-65 Overlay Zoning District.

Site Review:

Lot Requirements and Setbacks: Section 11, Subdivision 8 identifies requirements of lot size, building size, setbacks, height restrictions, and impervious surface coverage. Those reviews are provided below:

Minimum Lot Size: The minimum lot size of the TH-65 overlay zoning district is 1 acre, the proposed lot is 4.44 acres in size.

Minimum Building Size: The minimum building size for developments in the TH-65 overlay zoning district is 15 percent of the lot size:

1 acre = 43,560 sf
43,560 sf x 4.44 acres = 193,406 sf
15% of 193,406 sf = 29,011 sf building

The proposed building is ~9,100 sf, below the minimum required of the TH-65 overlay zoning district. However, Subdivision 10(B) of the TH-65 overlay zoning district allows *Design Standards Flexibility* if the Plan Commission and City Council believe that the proposed flexibility will result in better integration of uses, or provide significant site amenities, buffers, and other elements to offset any potential harmful

effect that could be caused by the use and will further the intent of the section. I believe that this may be an area that the City may want to consider granting the design standard flexibility of the zoning code for two main reasons:

- 1) Given the residential uses that surround this property on the north, south, and west side of this parcel, a smaller 'scalable' development is more appropriate for this area than ~29,000 sf development that's required by the zoning code.
- 2) Given that the site design of the parcel would allow for future development on the northside of the parcel, the Plan Commission and the City Council may want to consider allowing the smaller development as proposed on the southside of the parcel.

The Plan Commission and the City Council have the ultimate authority over granting this design standard flexibility.

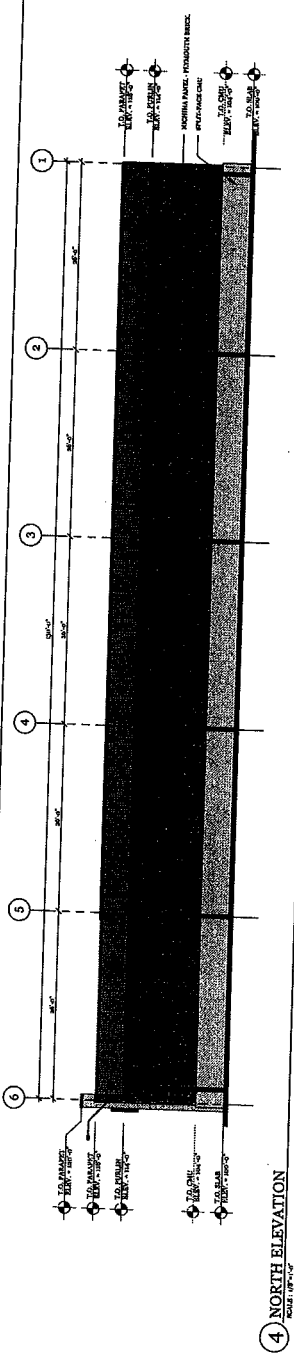
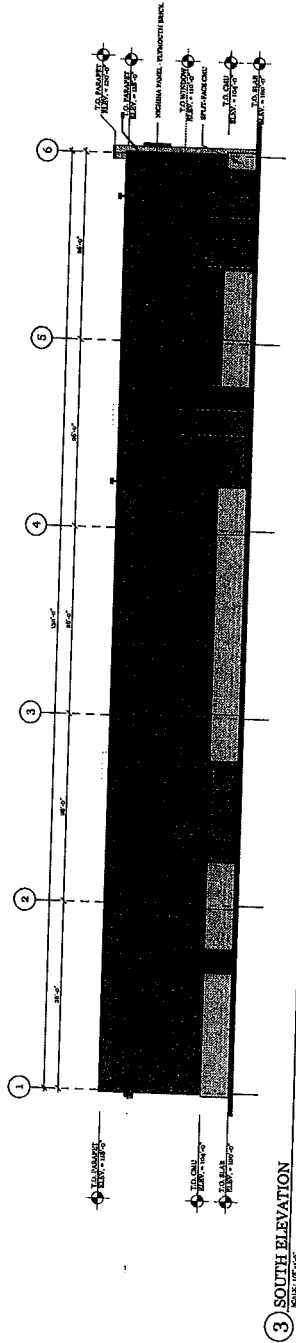
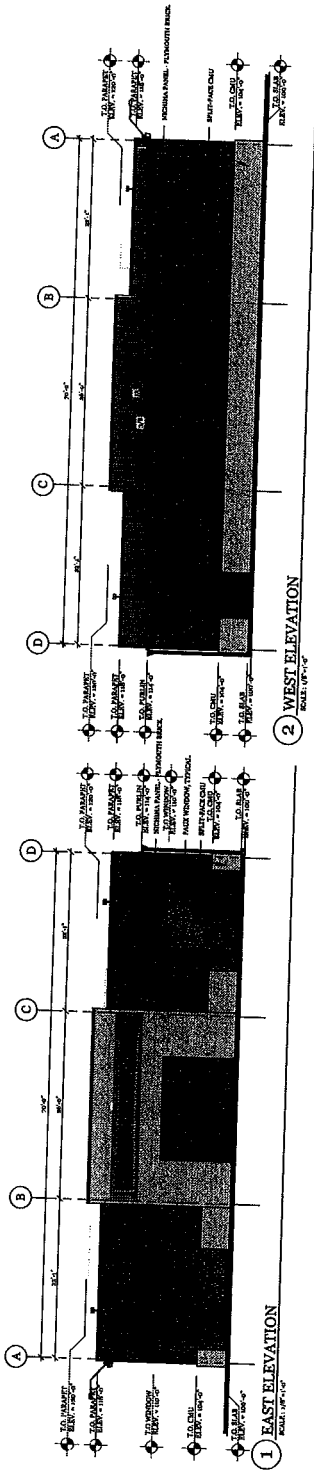
Setbacks and Height Restrictions: The following are the minimum setbacks for the TH-65 zoning overlay district, the proposed setbacks for this development are *italicized*:

Minimum Front Yard Setback	30 ft	<i>198 ft (TH-65)</i>
Minimum Side Yard Setback	15 ft	<i>103 ft</i>
Minimum Street Side Yard Setback	20 ft	<i>123 ft (Palomino Rd)</i>
Minimum Rear Yard Setback	15 ft	<i>191 ft</i>
Maximum Building Height	3 stories/45 ft	<i>~26 ft</i>

The above setback and height restrictions are met.

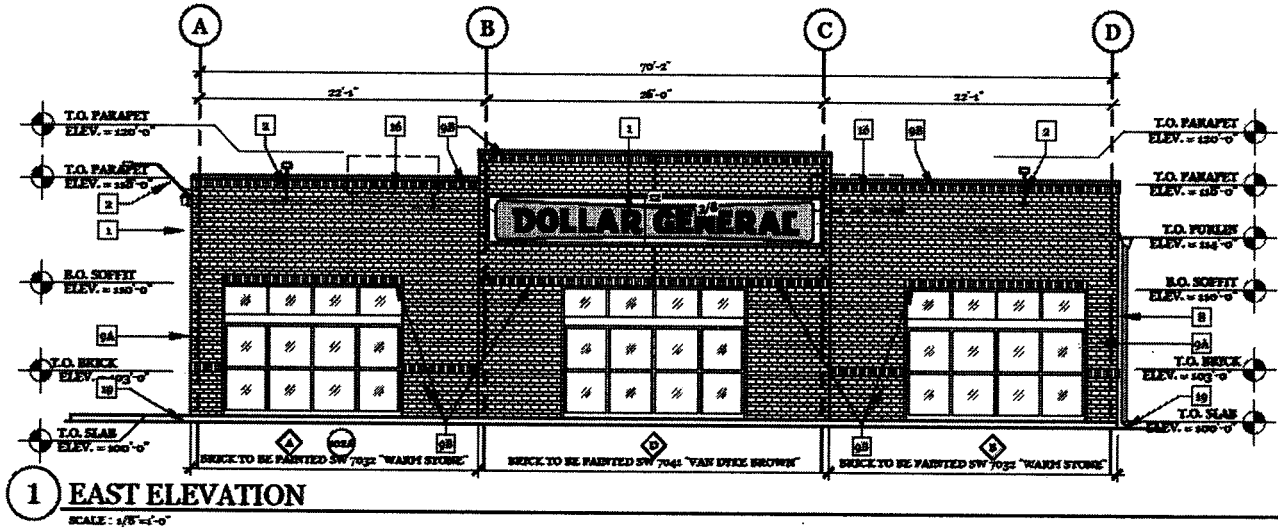
Building & Sign Aesthetics: Section 11, Article 5, Subdivision 11 regulates exterior building materials permitted in the TH-65 overlay district. The proposed development is all face brick, which is permitted under Subd. 11(A)(1). The main brick is a proposed "Warm Stone" with accents of "Van Dyke Brown," color examples are below:



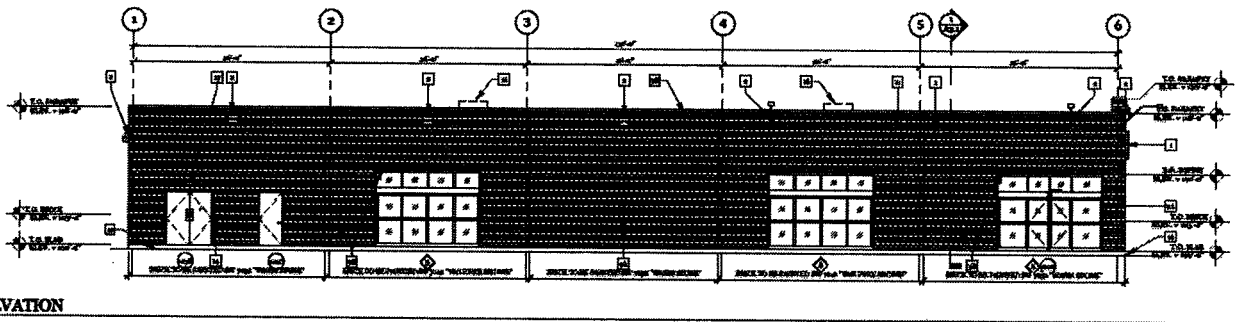


Proposed Store #20528
 Northwest Corner of State Highway 65 & Palomino Road SE
 Isanti, Minnesota 55040

Building Orientation: Article 5, Subdivision 12 regulates the building orientation of new development within the TH-65 overlay district. Said regulation states: "Building shall be oriented towards Highway 65 or, at a minimum, give the appearance of having a front facing Highway 65 (second front)." The proposed development provides the appearance of having a front facing east elevation as provided below:



The east elevation provides a real south and center window and a faux window on the northern side of the east elevation.



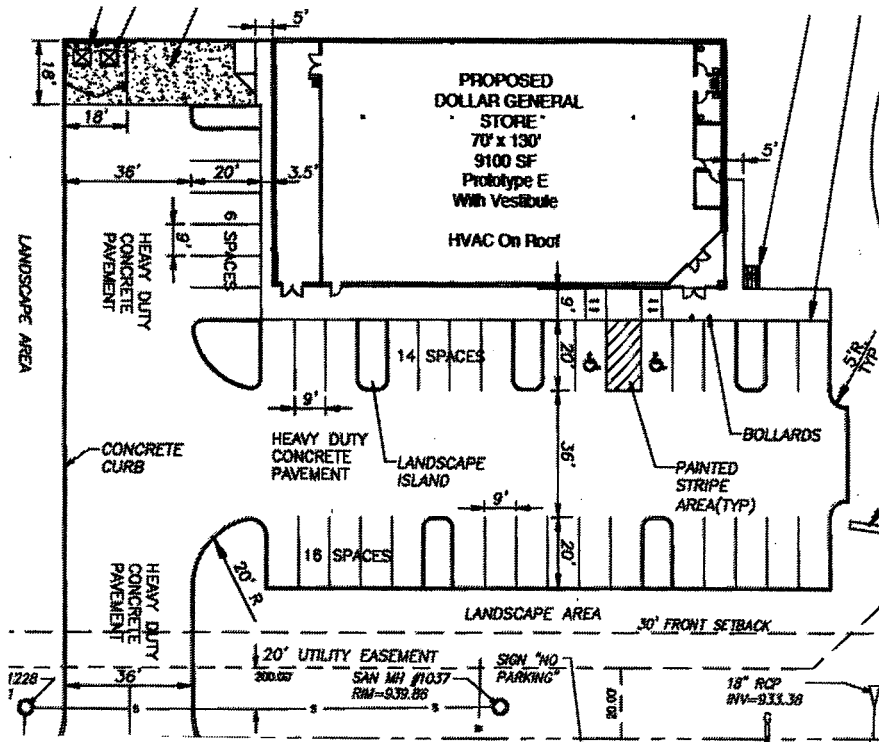
Parking and Driveways: Subdivision 13 of the TH-65 overlay zoning district regulate the parking, driveway, and driving areas of developments within this zoning district with some additional setbacks from right of way and residentially zoned districts.

Section 17 of the City Zoning Ordinance requires one stall per 250 sf of store space. This would require a minimum of 36 parking stalls with 2 handicapped parking stalls required. The proposed development has 36 parking stalls with 2 handicapped parking stalls, the vehicular parking minimum is met.

Additionally, Section 17 requires bicycle parking for all new development. Development that have between 21 and 40 total parking stalls require 2 bicycle parking spaces. The proposed development provides 2 bicycle parking spaces near the southeast entrance to the building.

The proposed parking and drive aisle areas of this development is 21,785 sf, which requires a minimum of 1,089 sf (or 5 percent) of interior parking landscaping. The proposed site has 1,600 sf of interior parking landscaping, exceeding the minimum requirements of the zoning code.

The TH-65 overlay zoning district requires a minimum 10 ft setback for parking lots from all lot lines and right of ways. The proposed parking lots are 43 ft from the Palomino Rd right of way and 40 ft from the westerly property line, exceeding the requirements of the zoning code. Additionally, the parking spaces are required to be a minimum of 20 ft from any residential zoning district – the proposed parking is 40 ft from the nearest residentially zoned parcel.

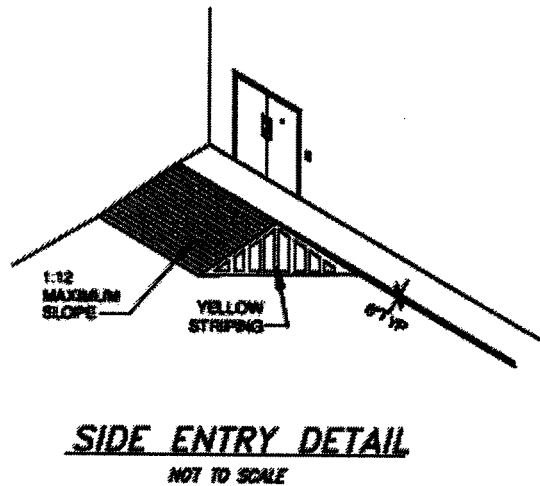
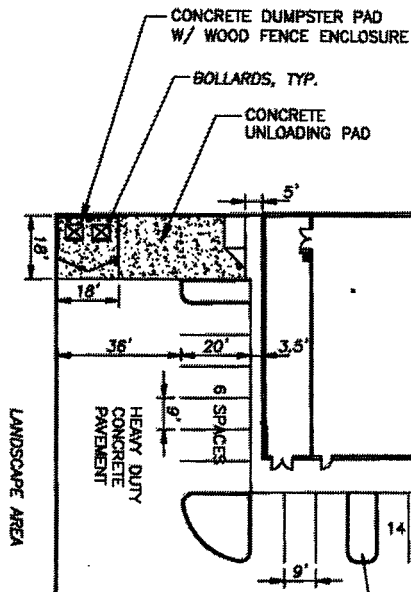


Loading spaces are regulated under Subdivision 13(C) of the TH-65 overlay zoning district. This section has three specific requirements (staff comments are *italicized*):

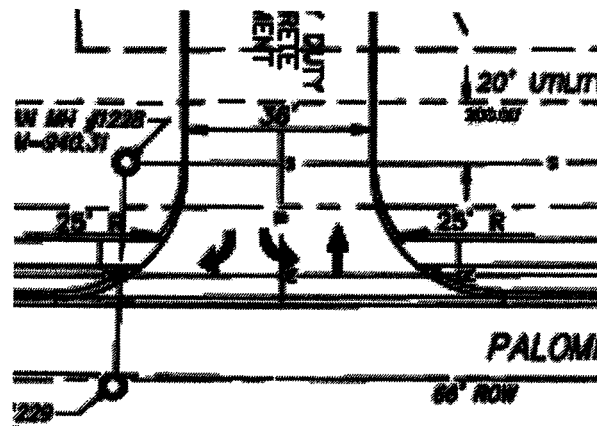
- 1) Loading spaces cannot face Highway 65 and must be located in designated rear yards. *The proposed loading space is along the west building elevation, not facing Highway 65. The issue, however, is the proposed loading dock is on the west building elevation, but the entry door to the back-storage room is on the south building elevation. A condition should be included to require the outdoor access door to be on the west building elevation.*

- 2) Loading and service areas must be separated from visitor and employee parking areas and general traffic circulation. As described in the section above, the area identified as the 'concrete unloading pad' is on the northside of the parking area. Again, the access door for this unloading pad is far from the unloading area and should be addressed in the conditions.

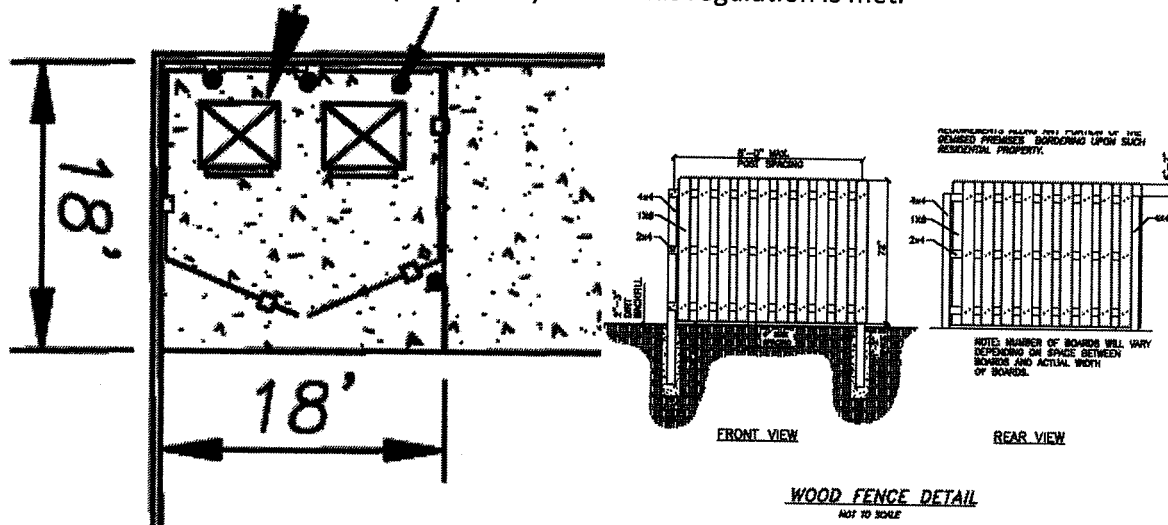
- 3) Loading spaces, overhead doors and service areas must be designed to be compatible with the principal building. Architectural techniques, color and landscaping must be employed to eliminate visual impacts from adjacent properties and roadways. The proposed loading doorway will match the exterior accent building colors.



Parking Lot Entry: The proposed development will have a single-access point off of Palomino Rd. Said access is 36' in width.



Trash Enclosures: Section 14, Subd. 3 identifies regulations for Refuse and Trash Receptacle Enclosures. This section requires that the trash enclosures are screened from all lot lines and that the screening is “architecturally harmonious with the principal structure.” The proposed trash enclosure is in the northwest corner of the subject area and is screened with a treated pine privacy fence. This regulation is met.



Outdoor Lighting: Section 11, Subd. 14 regulates lighting used to illuminate off-street parking areas, signage, and buildings of developments within the TH-65 overlay zoning district. The above regulation requires that lighting shall be directed away from residential properties and meet the additional requirements of Section 14, Subd. 5 of the Zoning Ordinance. The proposed lighting plan includes six pole mounted light poles in the parking lot, with four wall mounted lights on the east and west building elevations. Per the lighting plan, no lighting will spill onto the adjacent residential properties.

Landscaping: Landscaping for this parcel is regulated within Sections 14 and 15 of the zoning code. The submitted site plan does not identify specific landscaping trees. As such, a condition of a landscaping plan to be submitted that is in compliance with the City’s requirements must be provided for staff review and approval prior to issuance of building permits. Additionally, given the proximity to the residential property to the west, additional landscaping screen should be required to minimize the impacts on the adjacent property. Finally, all areas disturbed by the construction of the development must be sodded prior to issuance of a building permit.

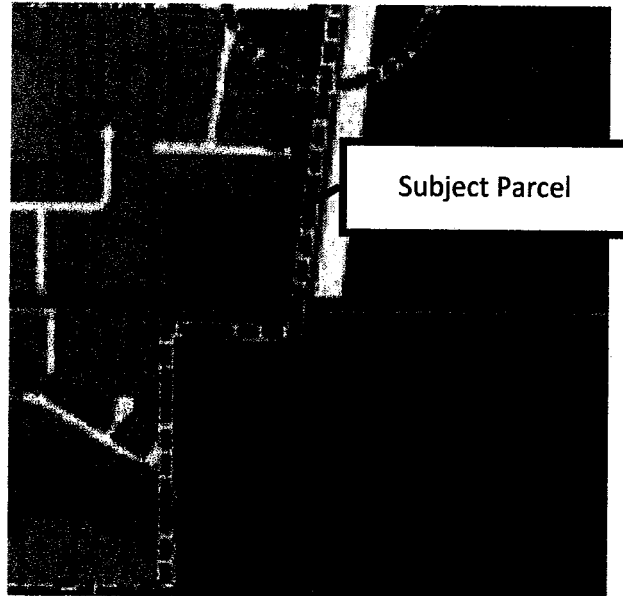
Stormwater Management: The City Engineer has reviewed the proposed plan and has recommended approval with several conditions outlined in his review, identified under “Exhibit A” of the attached sheet.

Section 18: Site Plan Review Standards

Section 18, Subd. 7 of the Zoning Ordinance specifically regulates Site Plan Review Standards. Those standards are discussed below with staff comments to each section *italicized*:

- A. Consistency with the elements and objectives of the City's development guides, including the comprehensive plan.

The proposed development meets or exceeds the development guides of the TH-65 overlay district and the B-2 "General Commercial" Zoning District. The City's 2008 Comprehensive Plan update identifies this parcel for "General Commercial" development as identified below:



The standards of this subsection are met.

B. Consistency with City Codes.

As identified throughout this staff report, the proposed development meets or exceeds City Codes and Ordinances. Areas that may not meet City Codes and Ordinances are addressed under conditions of approval. The standards of this condition are met.

C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.

The majority of development will occur in the southern half of the subject parcel. A small stand of trees is along the western lot line of the parcel and are retained through the development. This standard is met.

D. The amount and location of open space and landscaping.

Plenty of open space is retained on the north half of the parcel. A landscaping plan has been submitted but is not considered complete given the lack of identified species of plants and trees. Additionally, the interior parking lot landscaping is exceeding the five percent minimum required. Given a complete landscaping plan is submitted to the City as conditioned in the approval, this standard is met.

- E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Vehicular and bicycle parking minimums are met per zoning ordinance. Existing pedestrian facilities are along the north side of Palomino Road and are proposed to be installed near the proposed building. This standard is met.

- F. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Lighting will not spill onto adjacent properties; a condition of approval will be to install landscaping along the west property line to provide a buffer to the closest neighbors. The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

- G. Consistency with the City's Engineering Design standards as adopted by Resolution of the City Council.

The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

Other Considerations: *General Retail* is a permitted use in this zoning district. It's important that the Plan Commission and City Council only consider the site plan, and not the use.

Notice of Public Hearing: Property owners within 350' of the subject parcel were notified of the public hearing via USPS. Additionally, notice was published in the *Isanti County News* and posted at City Hall and the Post Office.

Decision Timeline: Per MN State Statutes, the City Council must act upon this request within 60 days of receipt. The City received a complete application on February 6, 2019, the City Council must act upon this request by April 7, 2019.

City Staff Recommendation: I recommend **APPROVAL** with the following conditions:

- 1) Address all conditions of the City Engineers review dated March 8, 2019
- 2) Submit a formal landscaping plan that identifies specific species permitted by Isanti Zoning Code
 - a. Provide additional landscape screening along the west property line to minimize development impacts on the surrounding neighborhood
- 3) Move loading dock entry from the south building elevation to the west building elevation
- 4) Sign permits are applied for and granted consistent with the City's Sign Code

Exhibit Schedule

- Exhibit A: City Engineer Review Memo & Attachments dated March 8, 2019
- Exhibit B: Resolution No. 2019-XXX
- Exhibit C: Findings of Fact & Conclusion
- Exhibit D: Existing Conditions
- Exhibit E: Site Plan
- Exhibit F: Grading Plan
- Exhibit G: Erosion Control Plan
- Exhibit H: Landscaping Plan
- Exhibit I: Utility Plan
- Exhibit J: Lighting Plan
- Exhibit K: Building Plan
- Exhibit L: Exterior Building Elevations
- Exhibit M: Proposed Signage



**BOLTON
& MENK**

Real People. Real Solutions.

Exhibit A
7833 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: March 8, 2019
To: Ryan Kernosky, Contract City Planner
From: Bradley C. DeWolf, P.E.
City Engineer
Jason W. Cook, P.E.
Assistant City Engineer
Subject: Dollar General Plan Set Review
City of Isanti, MN
Project No.: R13.117985

We have reviewed the plan set entitled "Dollar General" with a signature date of 1/4/2019, submitted on 2/21/2019. We have also reviewed the Storm Water Detention Calculations dated 1/11/2019, submitted with the plans.

The site is located in the northeast quadrant of the intersection of TH 65 and Palomino Road.

The plan includes the construction of a 70'X130' building with a 36 stall parking lot.

We have reviewed the submitted plans and have the following comments:

1. Sheet C2:
 - a. Construct Pedestrian Ramps to ADA standards
 - i. typical section: 6" concrete walk with 3" class 5 aggregate base
 - b. Construct concrete valley gutter to the attached detail requirements.
2. Sheet C3:
 - a. Sod all disturbed area between the west property line and the parking lot.
 - b. Sod all areas south of the earth berm and west of the 939 pond contour, including sodding the berm.
 - c. Erosion control blanket pond side slopes.
 - d. Hydro mulch type BFM, Fertilize, and Seed all other disturbed areas. (no straw)
3. Sheet SU1:
 - a. Re-route the proposed gas line to avoid the storm ponds
 - b. Re-route the electric service line to stay within the parcel to the road right of way.
 - c. The existing water stub is a 6-inch DIP main located east of the dead end sanitary sewer manhole. The water service will need to connect to this sub with either a 1.5" saddle or a



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& MENK**

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7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

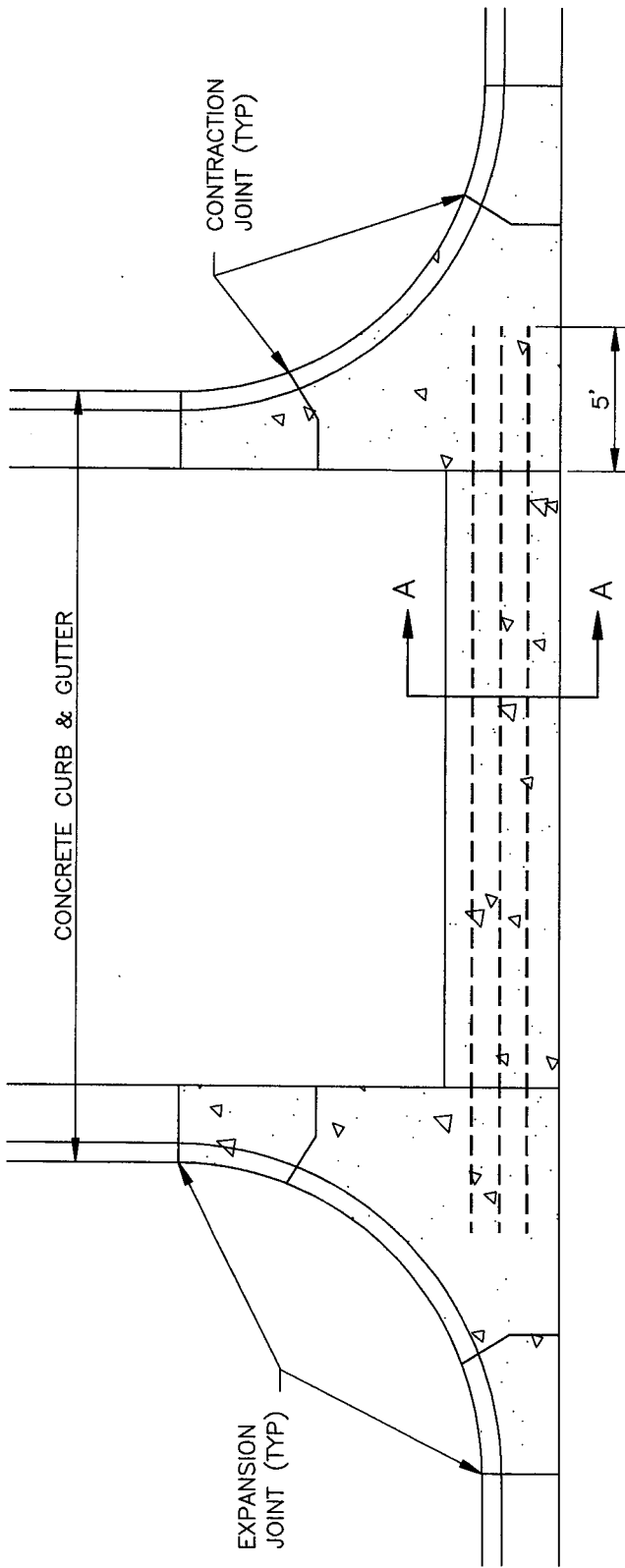
- 6"X1.5" threaded plug. The two water service stubs shown on sheet SU1 are not connected to the watermain.
- d. The existing sanitary sewer service wye is located 23.4' east of the downstream manhole. (see attached figure)
 - e. The attached existing record drawing shows the sanitary manhole invert at 933.14. verify this invert.
 - f. following note S1 the proposed service invert at the building would be above the ground level. The building and site may need to be raised to make the grades work.
 - i. Show the proposed sanitary sewer service pipe invert at all bends.
 - ii. Show the proposed sanitary sewer service pipe size, slope, and length between all bends.
 - g. Show insulation over any sewer service with under 7-feet of cover.
4. General Note:
- a. A permanent easement is required over the existing stormwater pond on the east side of the property. This easement should cover the entire pond to the top of the embankment slope on the west side.

We have reviewed the submitted Stormwater Detention Calculations and have the following comments:

1. The proposed catchment area appears to extend onto the neighbors property to the west.
 - a. Incorporate the total area into the pond calculations & update the catchment area figure.
2. Verify the storm events used in the calculations are based on Atlas 14 modeling.
3. In the Peak Flow Summary table, add a row showing the amount the flow is reduced from Pre to Post construction in the 2, 10, and 100-yr events.

We recommend approval of the construction plans and stormwater detention calculations once the above items are addressed.

Please contact us if you have any questions.



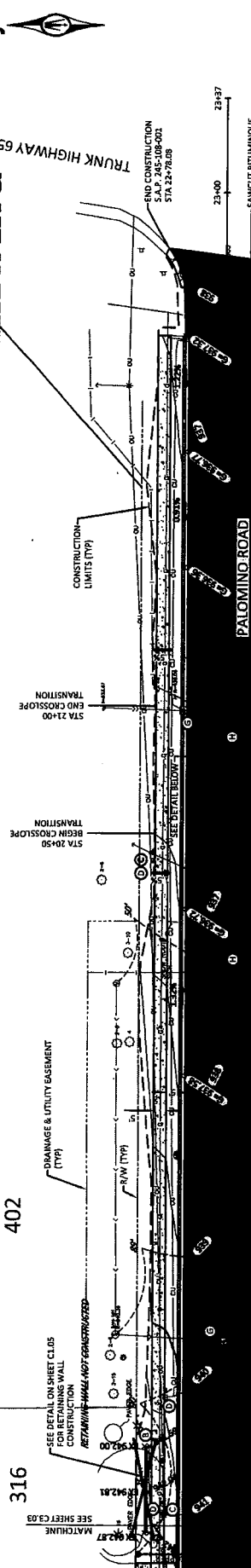
NOTE:
 1. NO CONTRACTION JOINTS IN VALLEY GUTTER
 2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5

SECTION A

CONCRETE VALLEY GUTTER
 NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL:	DATE:	DETAIL LOG
PATH: Y:\7-100		REMARKS:	STDS COMM. SPRING, 2006	REVISIONS:	DATE:
ORIG. PROJ:					
PROJ. #:		ENG/TECH:			

RECORD DRAWING

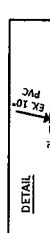


This record drawing has been prepared in accordance with the information furnished by others. While this information is believed to be reliable, the Designer/Professional cannot ensure its accuracy, and thus is not responsible for the accuracy of this record drawing or for any errors or omissions. Any use of this drawing for any purpose other than that intended hereon is at the user's risk. The user shall verify the accuracy of this drawing before applying it for any purpose.

DATE: 11/29/2017 BY: BC

NOTES

1. VERIFY EX. WATERMAIN SIZE AND LOCATION PRIOR TO CONSTRUCTION (INCIDENTAL).
2. CONSTRUCTION OF ALL PRIVATE UTILITY RELOCATIONS (INCIDENTAL).
3. MAINTAIN 18" VERTICAL AND 10' HORIZONTAL DISTANCE BETWEEN WATERMAIN AND SANITARY SEWER.
4. 24 HOURS NOTICE SHALL BE SUBMITTED TO ALL RESIDENTS PRIOR TO ANY SERVICE SHUTDOWNS.
5. ALL EX. BITUMINIOUS & CONCRETE SURFACES SHALL BE SAWCUT (FULL DEPTH) PRIOR TO NEW SURFACE INSTALLATION (INCIDENTAL).
6. PRIOR TO BEGINNING CONSTRUCTION, TO BE SUBMITTED FOR APPROVAL.
7. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
8. 8" VALLEY GUTTERS SHALL BE POURED IN TWO HALVES TO MAINTAIN ACCESS TO RESIDENTS AT ALL TIMES.



STATION	DESCRIPTION	PROPOSED ELEVATION	EXISTING ELEVATION
945	END CONSTRUCTION STA 24-108+00	101.96	101.96
944	END CONSTRUCTION STA 24-108+00	102.38	102.38
943	END CONSTRUCTION STA 24-108+00	102.80	102.80
942	END CONSTRUCTION STA 24-108+00	103.22	103.22
941	END CONSTRUCTION STA 24-108+00	103.64	103.64
940	END CONSTRUCTION STA 24-108+00	104.06	104.06
939	END CONSTRUCTION STA 24-108+00	104.48	104.48
938	END CONSTRUCTION STA 24-108+00	104.90	104.90
937	END CONSTRUCTION STA 24-108+00	105.32	105.32
936	END CONSTRUCTION STA 24-108+00	105.74	105.74
935	END CONSTRUCTION STA 24-108+00	106.16	106.16
934	END CONSTRUCTION STA 24-108+00	106.58	106.58
933	END CONSTRUCTION STA 24-108+00	107.00	107.00
932	END CONSTRUCTION STA 24-108+00	107.42	107.42
931	END CONSTRUCTION STA 24-108+00	107.84	107.84
930	END CONSTRUCTION STA 24-108+00	108.26	108.26
929	END CONSTRUCTION STA 24-108+00	108.68	108.68
928	END CONSTRUCTION STA 24-108+00	109.10	109.10
927	END CONSTRUCTION STA 24-108+00	109.52	109.52
926	END CONSTRUCTION STA 24-108+00	109.94	109.94
925	END CONSTRUCTION STA 24-108+00	110.36	110.36
924	END CONSTRUCTION STA 24-108+00	110.78	110.78
923	END CONSTRUCTION STA 24-108+00	111.20	111.20
922	END CONSTRUCTION STA 24-108+00	111.62	111.62
921	END CONSTRUCTION STA 24-108+00	112.04	112.04
920	END CONSTRUCTION STA 24-108+00	112.46	112.46
919	END CONSTRUCTION STA 24-108+00	112.88	112.88
918	END CONSTRUCTION STA 24-108+00	113.30	113.30
917	END CONSTRUCTION STA 24-108+00	113.72	113.72
916	END CONSTRUCTION STA 24-108+00	114.14	114.14
915	END CONSTRUCTION STA 24-108+00	114.56	114.56
914	END CONSTRUCTION STA 24-108+00	114.98	114.98
913	END CONSTRUCTION STA 24-108+00	115.40	115.40
912	END CONSTRUCTION STA 24-108+00	115.82	115.82
911	END CONSTRUCTION STA 24-108+00	116.24	116.24
910	END CONSTRUCTION STA 24-108+00	116.66	116.66
909	END CONSTRUCTION STA 24-108+00	117.08	117.08
908	END CONSTRUCTION STA 24-108+00	117.50	117.50
907	END CONSTRUCTION STA 24-108+00	117.92	117.92
906	END CONSTRUCTION STA 24-108+00	118.34	118.34
905	END CONSTRUCTION STA 24-108+00	118.76	118.76

LEGEND

- RELOCATE MALLOR POST
- INSTALL RETAINING WALL
- RELOCATE POWER POLE (BY OTHERS)
- RELOCATE COMMUNICATION PEDestal (BY OTHERS)
- CONSTRUCT WATER SERVICE TO MATCH EXISTING LOCATION
- CONSTRUCT 6" VALLEY GUTTER
- ADJUST FRAME RINGS & CASTING
- ADJUST GATE VALVE & BOX
- CONCRETE PAVEMENT/WALK
- CONCRETE LANDING AREA
- TRUNCATED DOMES
- BITUMINIOUS PAVEMENT
- AGGREGATE SURFACING
- BRICK PAVERS
- CONCRETE CURB & GUTTER (MATCH EXISTING CURB TYPE)
- CONSTRUCTION LIMITS

Scale: 1" = 20' (HORIZ), 1" = 5' (VERT)

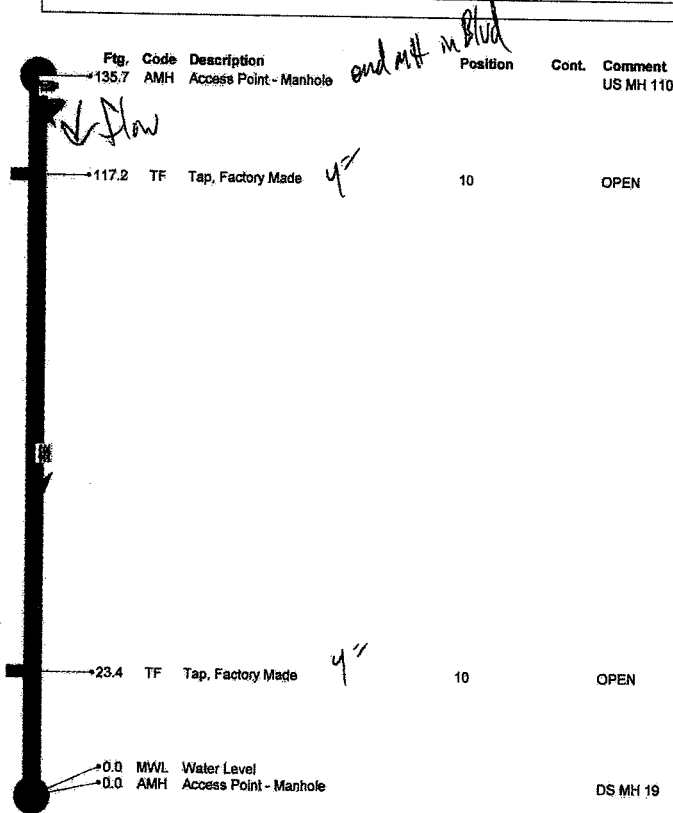
Project: 2017 South Palomino Road Improvements

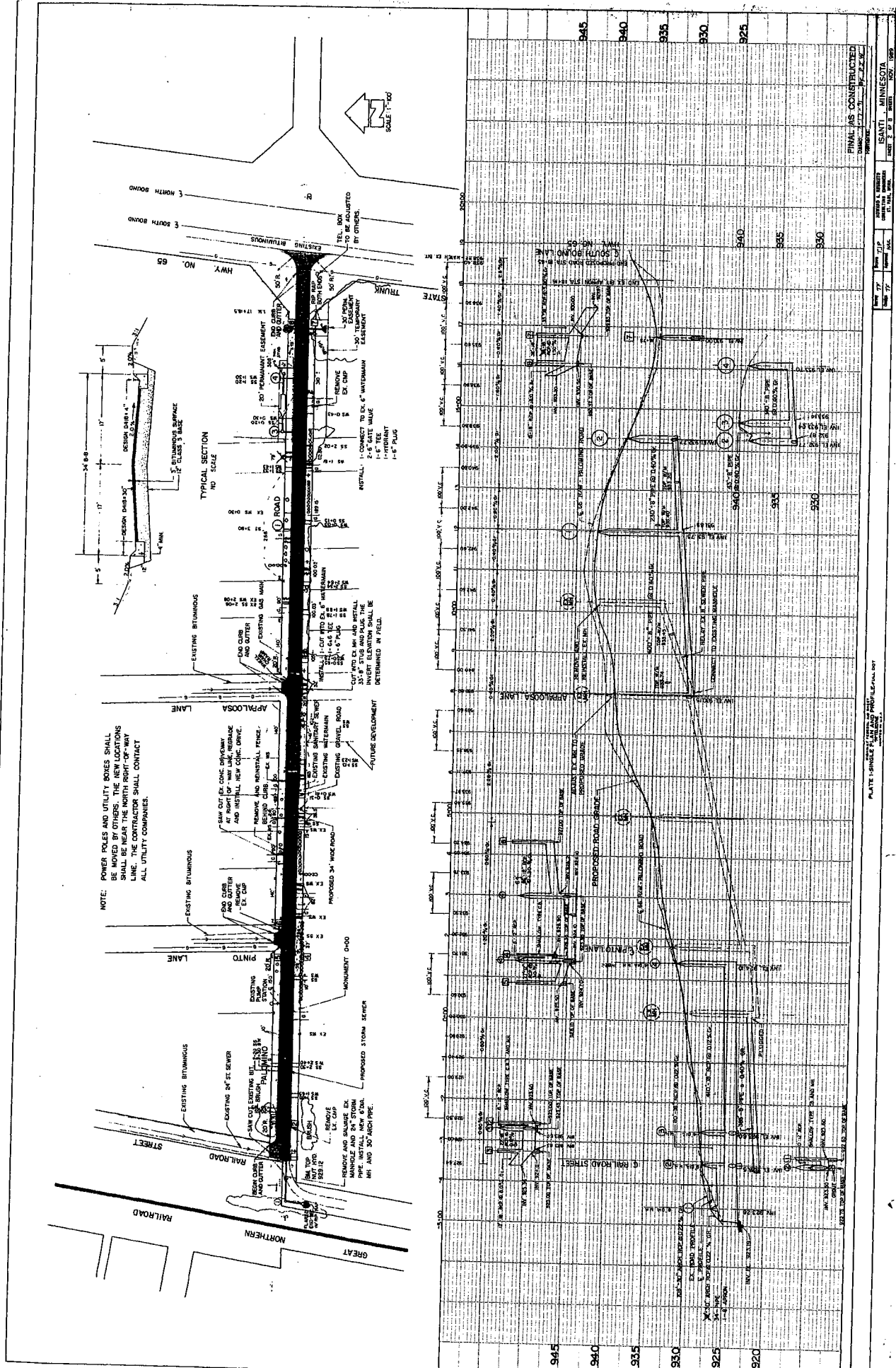
City of Grant, Minnesota

Isanti Engineering

BOLTON & MENK

Upstream MH			Downstream MH		
110			19		
Date	Time	Location (Street)		Job Number	
05/23/2017	7:53 AM	PALOMINO RD SE		17200M-01	
Use of Sewer	Pipe Size	Material	Jt. Spacing	Shape	Survey Direction
Sanitary	8	Polyvinyl Chloride	0	Circular	Upstream
Pre-Cleaning	Weather	Surface	US MH Depth	DS MH Depth	Flow Direction
Jetting	Dry	Grass	8	8	W
Media No.	Surveyed Length	Total Length	Surveyor	Certificate No.	Truck No.
01	135.7	135	T PRUITT	U-1207-6155	257
Comments					





NOTE: POWER POLES AND UTILITY BOXES SHALL BE MOVED BY OTHERS. THE NEW LOCATIONS SHALL BE NEAR THE NORTH RIGHT-OF-WAY LINE. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES.

TYPICAL SECTION
NO. SCALE

DATE	BY	REVISION

DATE	BY	REVISION

FINAL AS CONSTRUCTED

ISANTI, MINNESOTA

8906

Exhibit B

RESOLUTION NO. 2019-XXX

A RESOLUTION APPROVING THE SITE PLAN/BUILDING APPEARANCE FOR A DOLLAR GENERAL ON PID 16.029.0900

WHEREAS, Overland Engineering, LLC, on behalf of Dollar General (applicant) is requesting a Site Plan/Building Appearance approval for the construction of a Dollar General; and,

WHEREAS, such request is located on the parcel legally described in "Exhibit 1" attached hereto (subject parcel); and,

WHEREAS, the subject parcel is located in the "B-2" General Business District and is subject to the additional requirements of the "TH-65" Trunk Highway 65 Overlay Zoning District, in both of the Zoning Districts *General Retail Establishments* are a permitted use; and,

WHEREAS, under Isanti Zoning Code Section 18, Subd. 2(A) the construction of a new building is required to obtain approval of the Site Plan/Building Appearance; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the proposed Site Plan/Building Appearance on March 19, 2019; and,

WHEREAS, property owners within 350' of the subject parcel were notified of said public hearing as required by Isanti Zoning Code. Additionally, proper notification of said public hearing was published in the *Isanti County News* and posted at City Hall and the Isanti Post Office; and,

WHEREAS, the City of Isanti Planning Commission recommended approval of the Site Plan/Building Appearance on March 19, 2019; and,

WHEREAS, the City of Isanti City Council reviewed the requested Site Plan/Building Appearance at its regularly scheduled meeting on April 2, 2019.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA, that it adopts the Findings of Fact and Conclusion related to the requested Site Plan/Building Appearance, attached as "Exhibit 2" hereto.

BE IT FURTHER RESOLVED that the requested Site Plan/Building Appearance be hereby **APPROVED** subject to the following conditions:

- 1) Address all conditions of the City Engineers review dated March 8, 2019 (Exhibit 3)
- 2) Submit a formal landscaping plan that identifies specific species permitted by Isanti Zoning Code
 - a. Provide additional landscape screening along the west property line to minimize development impacts on the surrounding neighborhood
- 3) Move loading dock entry from the south building elevation to the west building elevation
- 4) Sign permits are applied for and granted consistent with the City's Sign Code

This Resolution is hereby approved by the Isanti City Council this 2nd day of April, 2019.

ATTEST:

Mayor Jeff Johnson

Katie Brooks
City Clerk/Human Resources

EXHIBIT 1
LEGAL DESCRIPTION OF PROPERTY

Exhibit B

LEGAL DESCRIPTION AS PROVIDED

THAT PART OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER, SECTION 29, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER, SECTION 29, TOWNSHIP 35, RANGE 23, THENCE EAST FOLLOWING THE SOUTH SECTION LINE TO THE WESTERLY BOUNDARY OF TRUNK HIGHWAY 885, AS NOW LOCATED AND ESTABLISHED IN SAID TOWNSHIP AND RANGE; THENCE NORTH FOLLOWING THE WESTERLY BOUNDARY OF SAID TRUNK HIGHWAY 885 TO THE SOUTH 1/16TH LINE, THENCE WEST FOLLOWING THE SOUTH 1/16TH LINE OF SAID SECTION, TOWNSHIP AND RANGE, TO A POINT ON THE SOUTH 1/16TH LINE 235 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE SOUTHERLY 185 FEET 3 AND 11/16 INCHES, PARALLEL TO THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE 235 FEET WESTERLY TO WEST LINE AND PARALLEL TO NORTH LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE SOUTH FOLLOWING THE WEST 1/16TH LINE TO THE SOUTH SECTION LINE TO THE POINT OF BEGINNING AND THERE TO TERMINATE, EXCEPTING THEREFROM THAT PART THEREOF PLATTED AS NORMAN'S ACRES, AND FURTHER EXCEPTING THEREFROM THOSE CERTAIN PARCELS OF LAND CONVEYED BY WARRANTY DEED DATED JUNE 25, 1980, FILED JULY 27, 1980, AND RECORDED IN BOOK "48" A DEEDS, PAGE 301, IN THE OFFICE OF THE REGISTER OF DEEDS IN ISANTI COUNTY, MINNESOTA, AND BY WARRANTY DEED DATED SEPTEMBER 27, 1987, FILED SEPTEMBER 29, 1987, AND RECORDED IN BOOK "68" OF DEEDS, PAGE 297-8 IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA; AND BY WARRANTY DEED DATED SEPTEMBER 27, 1987, FILED SEPTEMBER 29, 1987, RECORDED IN BOOK "68" OF DEEDS, PAGE 299-300, IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA; AND BY WARRANTY DEED DATED JUNE 7, 1984, FILED JUNE 7, 1984, RECORDED IN BOOK "120" OF DEEDS, PAGE 467, IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA.

ALSO EXCEPTING:

THAT PART OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE RECORDED PLAT OF NORMAN'S ACRES (SAID CORNER IS ON THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SAID SECTION 29), THENCE EAST ALONG THE SOUTH LINE OF SAID NORMAN'S ACRES, A DISTANCE OF 290.55 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE HEREIN DESCRIBED; THENCE CONTINUING EAST, ALONG SAID SOUTH LINE OF NORMAN'S ACRES, A DISTANCE OF 140 FEET, THENCE SOUTH, DEFLECTING TO THE RIGHT 90 DEGREES 00 MINUTES, A DISTANCE OF 160 FEET; THENCE WESTERLY, DEFLECTING TO THE RIGHT, 91 DEGREES 26 MINUTES 15 SECONDS, A DISTANCE OF 140.03 FEET; THENCE NORTH, DEFLECTING TO THE RIGHT, 88 DEGREES 34 MINUTES 45 SECONDS, A DISTANCE OF 157.27 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING:

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE RECORDED PLAT OF NORMAN'S ACRES, ISANTI COUNTY, MINNESOTA (SAID CORNER IS ON THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 29); THENCE EAST, ALONG THE SOUTH LINE OF SAID NORMAN'S ACRES, A DISTANCE OF 290.55 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE HEREIN DESCRIBED; THENCE SOUTH, DEFLECTING TO THE RIGHT 90 DEGREES 00 MINUTES, A DISTANCE OF 160 FEET; THENCE EASTERLY, DEFLECTING TO THE LEFT 88 DEGREES 34 MINUTES 45 SECONDS, A DISTANCE OF 158.69 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TRUNK HIGHWAY NO. 85; THENCE NORTHERLY, ALONG SAID WESTERLY HIGHWAY RIGHT-OF-WAY LINE, A DISTANCE OF 165 FEET TO THE SOUTH LINE OF THE RECORDED PLAT OF NORMAN'S ACRES; THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 175 FEET TO THE POINT OF BEGINNING.

EXHIBIT 2
FINDINGS OF FACT AND CONCLUSION

Exhibit B

FINDINGS OF FACT AND CONCLUSION

Site Plan/Building Appearance – Dollar General

March 19, 2019

Prepared by Contract City Planner Ryan Kernosky

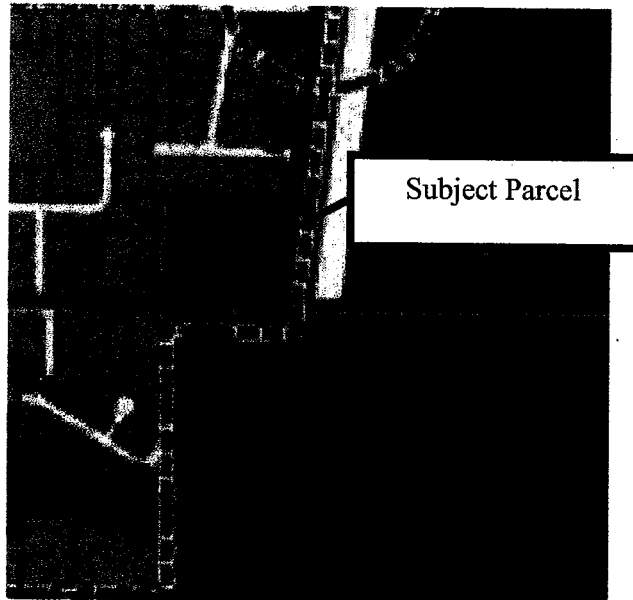
Request

Overland Engineering, LLC on behalf of Dollar General has submitted a complete request and has paid all applicable fees for a Site Plan/Building Appearance to construct a Dollar General on the parcel legally described in Exhibit 1.

Findings of Fact

1. The applicant has made application and paid all applicable fees for Site Plan/Building Appearance for a proposed Dollar General.
2. The property is legally described in Exhibit 1, attached hereto, but it more commonly referred to as PID 16.029.0900.
3. The property is zoned “B-2” General Business District and is subject to additional restrictions of the “TH-65” Trunk Highway 65 Overlay Zoning District.
4. Said development is considered a *General Retail Establishment* of which is a permitted use in both the “B-2” and “TH-65” Zoning Districts.
5. Consistent with Section 18, Subd. 6(C) of the Isanti Zoning Ordinance, a public hearing was held on March 19, 2019 before the Isanti Planning Commission. All property owners within 350’ of the subject parcel were notified of said public hearing, and proper postings in the *Isanti County News*, City Hall, and Isanti Post Office occurred.
6. The applicant submitted the application for Site Plan/Building Appearance on February 6, 2019.
7. Section 18, Subd. 7 of the Zoning Ordinance specifically regulates Site Plan Review Standards. Those standards are discussed below with staff comments to each section *italicized*:
 - A. Consistency with the elements and objectives of the City's development guides, including the comprehensive plan.
The proposed development meets or exceeds the development guides of the TH-65 overlay district and the B-2 “General Commercial” Zoning District. The City's 2008 Comprehensive Plan update identifies this parcel for “General Commercial” development as identified below:

**EXHIBIT 2
FINDINGS OF FACT AND CONCLUSION**



The standards of this subsection are met.

B. Consistency with City Codes.

As identified throughout this staff report, the proposed development meets or exceeds City Codes and Ordinances. Areas that may not meet City Codes and Ordinances are addressed under conditions of approval. The standards of this condition are met.

C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.

The majority of development will occur in the southern half of the subject parcel. A small stand of trees is along the western lot line of the parcel and are retained through the development. This standard is met.

D. The amount and location of open space and landscaping.

Plenty of open space is retained on the north half of the parcel. A landscaping plan has been submitted but is not considered complete given the lack of identified species of plants and trees. Additionally, the interior parking lot landscaping is exceeding the five percent minimum required. Given a complete landscaping plan is submitted to the City as conditioned in the approval, this standard is met.

EXHIBIT 2
FINDINGS OF FACT AND CONCLUSION

- E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Vehicular and bicycle parking minimums are met per zoning ordinance. Existing pedestrian facilities are along the north side of Palomino Road and are proposed to be installed near the proposed building. This standard is met.

- F. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Lighting will not spill onto adjacent properties; a condition of approval will be to install landscaping along the west property line to provide a buffer to the closest neighbors. The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

- G. Consistency with the City's Engineering Design standards as adopted by Resolution of the City Council.

The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

Conclusions

1. The development of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the "B-2" General Business District and "TH-65" Trunk Highway Overlay Zoning District.
2. The development of the property would appear to meet the building design and aesthetic standards outlined in the "B-2" General Business District and "TH-65" Trunk Highway Overlay Zoning District.

Decision

The Planning Commission held a public hearing on the item at the March 19, 2019 regularly scheduled meeting. It was the recommendation of the City of Isanti Planning Commission to approve the Site Plan/Building Appearance with the conditions enclosed within the Resolution. The meeting minutes, staff memo and exhibits will be made part of the Findings of Facts and Conclusions.

EXHIBIT 1
LEGAL DESCRIPTION OF PROPERTY

Exhibit B

LEGAL DESCRIPTION AS PROVIDED

THAT PART OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER, SECTION 28, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER, SECTION 28, TOWNSHIP 35, RANGE 23, THENCE EAST FOLLOWING THE SOUTH SECTION LINE TO THE WESTERLY BOUNDARY OF TRUNK HIGHWAY #88, AS NOW LOCATED AND ESTABLISHED IN SAID TOWNSHIP AND RANGE; THENCE NORTH FOLLOWING THE WESTERLY BOUNDARY OF SAID TRUNK HIGHWAY #88 TO THE SOUTH 1/16TH LINE, THENCE WEST FOLLOWING THE SOUTH 1/16TH LINE OF SAID SECTION, TOWNSHIP AND RANGE, TO A POINT ON THE SOUTH 1/16TH LINE 235 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE SOUTHERLY 185 FEET 3 AND 11/10 INCHES, PARALLEL TO THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE 235 FEET WESTERLY TO WEST LINE AND PARALLEL TO NORTH LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE SOUTH FOLLOWING THE WEST 1/16TH LINE TO THE SOUTH SECTION LINE TO THE POINT OF BEGINNING AND THERE TO TERMINATE, EXCEPTING THEREFROM THAT PART THEREOF PLATTED AS NORMAN'S ACRES, AND FURTHER EXCEPTING THEREFROM THOSE CERTAIN PARCELS OF LAND CONVEYED BY WARRANTY DEED DATED JUNE 28, 1960, FILED JULY 27, 1960, AND RECORDED IN BOOK "46" A DEEDS, PAGE 391, IN THE OFFICE OF THE REGISTER OF DEEDS IN ISANTI COUNTY, MINNESOTA, AND BY WARRANTY DEED DATED SEPTEMBER 27, 1967, FILED SEPTEMBER 29, 1967, AND RECORDED IN BOOK "66" OF DEEDS, PAGE 297-8 IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA; AND BY WARRANTY DEED DATED SEPTEMBER 27, 1967, FILED SEPTEMBER 28, 1967, RECORDED IN BOOK "66" OF DEEDS, PAGE 299-300, IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA; AND BY WARRANTY DEED DATED JUNE 7, 1984, FILED JUNE 7, 1984, RECORDED IN BOOK "120" OF DEEDS, PAGE 467, IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA.

ALSO EXCEPTING:

THAT PART OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE RECORDED PLAT OF NORMAN'S ACRES (SAID CORNER IS ON THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SAID SECTION 28), THENCE EAST ALONG THE SOUTH LINE OF SAID NORMAN'S ACRES, A DISTANCE OF 280.55 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE HEREIN DESCRIBED; THENCE CONTINUING EAST, ALONG SAID SOUTH LINE OF NORMAN'S ACRES, A DISTANCE OF 140 FEET, THENCE SOUTH, DEFLECTING TO THE RIGHT 90 DEGREES 00 MINUTES, A DISTANCE OF 160 FEET; THENCE WESTERLY, DEFLECTING TO THE RIGHT, 81 DEGREES 28 MINUTES 15 SECONDS, A DISTANCE OF 140.93 FEET; THENCE NORTH, DEFLECTING TO THE RIGHT, 88 DEGREES 34 MINUTES 45 SECONDS, A DISTANCE OF 187.27 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING:

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

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**BOLTON
& MENK**

Real People. Real Solutions.

Exhibit 3

1533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: March 8, 2019
To: Ryan Kernosky, Contract City Planner
From: Bradley C. DeWolf, P.E.
City Engineer
Jason W. Cook, P.E.
Assistant City Engineer
Subject: Dollar General Plan Set Review
City of Isanti, MN
Project No.: R13.117985

We have reviewed the plan set entitled "Dollar General" with a signature date of 1/4/2019, submitted on 2/21/2019. We have also reviewed the Storm Water Detention Calculations dated 1/11/2019, submitted with the plans.

The site is located in the northeast quadrant of the intersection of TH 65 and Palomino Road.

The plan includes the construction of a 70'X130' building with a 36 stall parking lot.

We have reviewed the submitted plans and have the following comments:

1. Sheet C2:
 - a. Construct Pedestrian Ramps to ADA standards
 - i. typical section: 6" concrete walk with 3" class 5 aggregate base
 - b. Construct concrete valley gutter to the attached detail requirements.
2. Sheet C3:
 - a. Sod all disturbed area between the west property line and the parking lot.
 - b. Sod all areas south of the earth berm and west of the 939 pond contour, including sodding the berm.
 - c. Erosion control blanket pond side slopes.
 - d. Hydro mulch type BFM, Fertilize, and Seed all other disturbed areas. (no straw)
3. Sheet SU1:
 - a. Re-route the proposed gas line to avoid the storm ponds
 - b. Re-route the electric service line to stay within the parcel to the road right of way.
 - c. The existing water stub is a 6-inch DIP main located east of the dead end sanitary sewer manhole. The water service will need to connect to this sub with either a 1.5" saddle or a



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Suite 206
Ramsey, MN 55303-5119

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Fax: (763) 427-0833
Bolton-Menk.com

6"X1.5" threaded plug. The two water service stubs shown on sheet SU1 are not connected to the watermain.

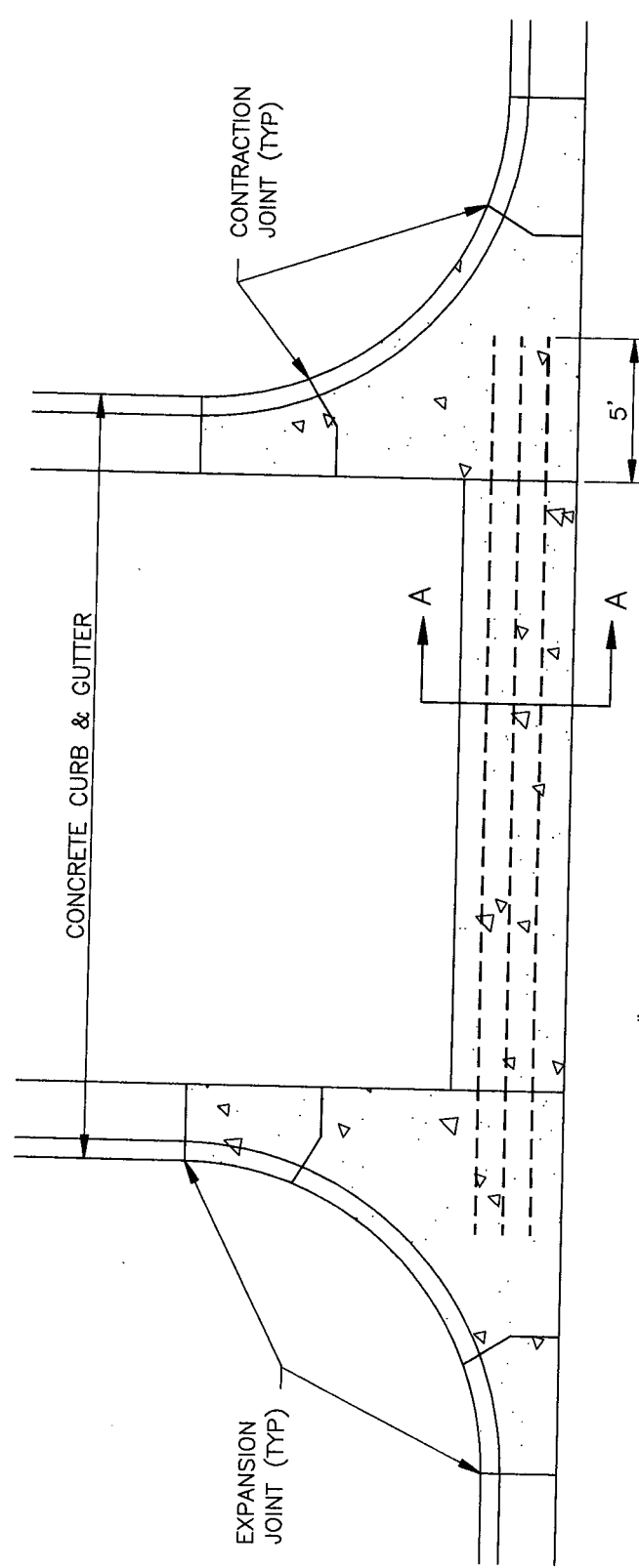
- d. The existing sanitary sewer service wye is located 23.4' east of the downstream manhole. (see attached figure)
 - e. The attached existing record drawing shows the sanitary manhole invert at 933.14. verify this invert.
 - f. following note S1 the proposed service invert at the building would be above the ground level. The building and site may need to be raised to make the grades work.
 - i. Show the proposed sanitary sewer service pipe invert at all bends.
 - ii. Show the proposed sanitary sewer service pipe size, slope, and length between all bends.
 - g. Show insulation over any sewer service with under 7-feet of cover.
4. General Note:
- a. A permanent easement is required over the existing stormwater pond on the east side of the property. This easement should cover the entire pond to the top of the embankment slope on the west side.

We have reviewed the submitted Stormwater Detention Calculations and have the following comments:

1. The proposed catchment area appears to extend onto the neighbors property to the west.
 - a. Incorporate the total area into the pond calculations & update the catchment area figure.
2. Verify the storm events used in the calculations are based on Atlas 14 modeling.
3. In the Peak Flow Summary table, add a row showing the amount the flow is reduced from Pre to Post construction in the 2, 10, and 100-yr events.

We recommend approval of the construction plans and stormwater detention calculations once the above items are addressed.

Please contact us if you have any questions.



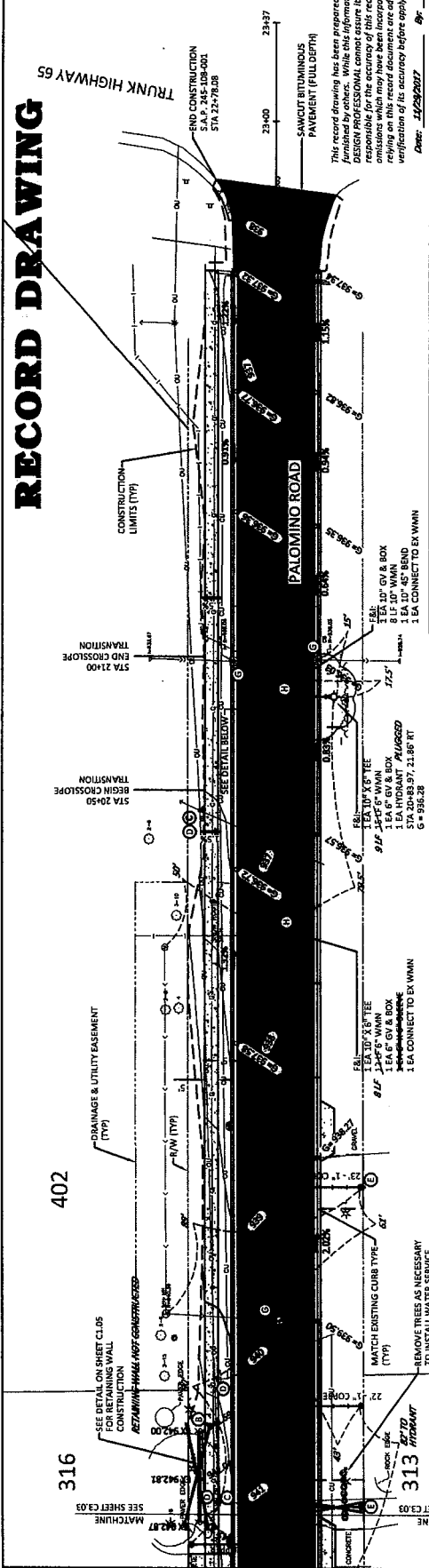
- NOTE:**
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
 2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5

SECTION A

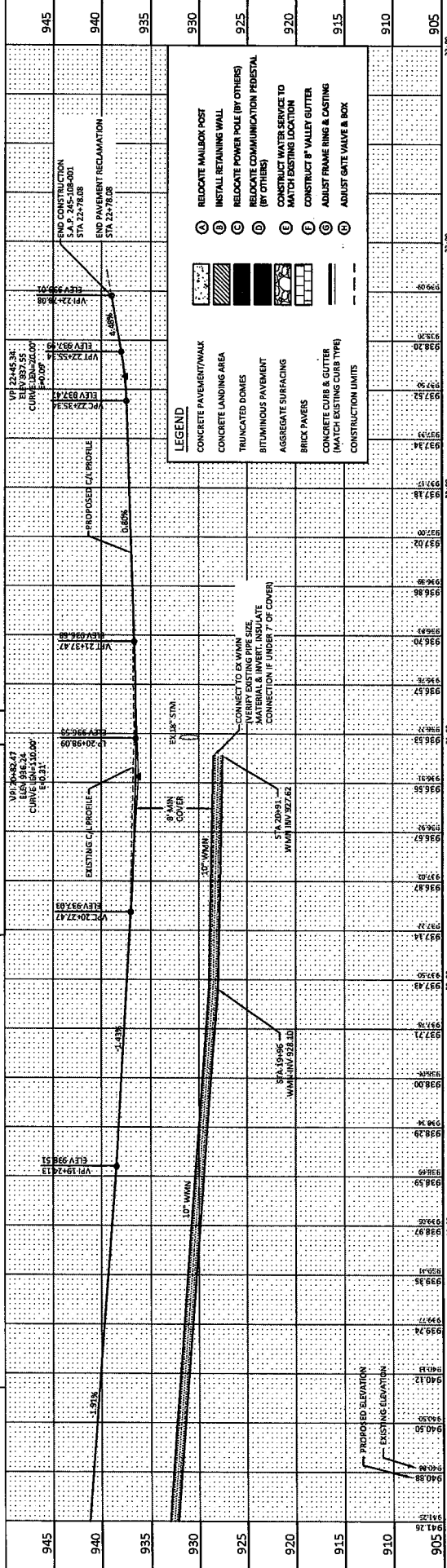
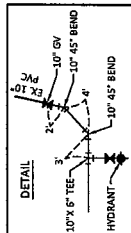
CONCRETE VALLEY GUTTER
NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL:	DATE:	DETAIL LOG
PATH: Y:\7-100		REMARKS:	STDS COMM. SPRING, 2006		REVISIONS:
ORIG. PROJ:					DATE:
PROJ. #:			ENG/TECH:		

RECORD DRAWING



- NOTES**
1. VERIFY EX. WATERMAIN SIZE AND LOCATION PRIOR TO CONNECTION (INCIDENTAL).
 2. CONTRACTOR TO COORDINATE ALL PRIVATE UTILITY RELOCATIONS (INCIDENTAL).
 3. CONTRACTOR TO MAINTAIN 10' HORIZONTAL DISTANCE BETWEEN WATERMAIN AND SANITARY SEWER.
 4. A MINIMUM OF 48 HOURS NOTICE SHALL BE SUBMITTED TO ALL RESIDENTS PRIOR TO ANY SERVICE SHUTDOWNS.
 5. ALL EX. BITUMINOUS & CONCRETE SURFACES SHALL BE SAWCUT (FULL DEPTH) PRIOR TO NEW SURFACE INSTALLATION (INCIDENTAL).
 6. TEMPORARY WATER SERVICE PLAN TO BE SUBMITTED FOR APPROVAL.
 7. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
 8. 8" VALLEY GUTTERS SHALL BE POURED IN TWO HALVES TO MAINTAIN ACCESS TO RESIDENTS AT ALL TIMES.



STATION	PROPOSED ELEVATION	EXISTING ELEVATION
17+80	941.26	941.26
18+00	940.85	940.85
18+20	940.50	940.50
18+40	940.12	940.12
18+60	939.74	939.74
18+80	939.35	939.35
19+00	938.97	938.97
19+20	938.58	938.58
19+40	938.19	938.19
19+60	937.80	937.80
19+80	937.41	937.41
20+00	937.02	937.02
20+20	936.63	936.63
20+40	936.24	936.24
20+60	935.85	935.85
20+80	935.46	935.46
21+00	935.07	935.07
21+20	934.68	934.68
21+40	934.29	934.29
21+60	933.90	933.90
21+80	933.51	933.51
22+00	933.12	933.12
22+20	932.73	932.73
22+40	932.34	932.34
22+60	931.95	931.95
22+80	931.56	931.56
23+00	931.17	931.17
23+20	930.78	930.78
23+37	930.39	930.39

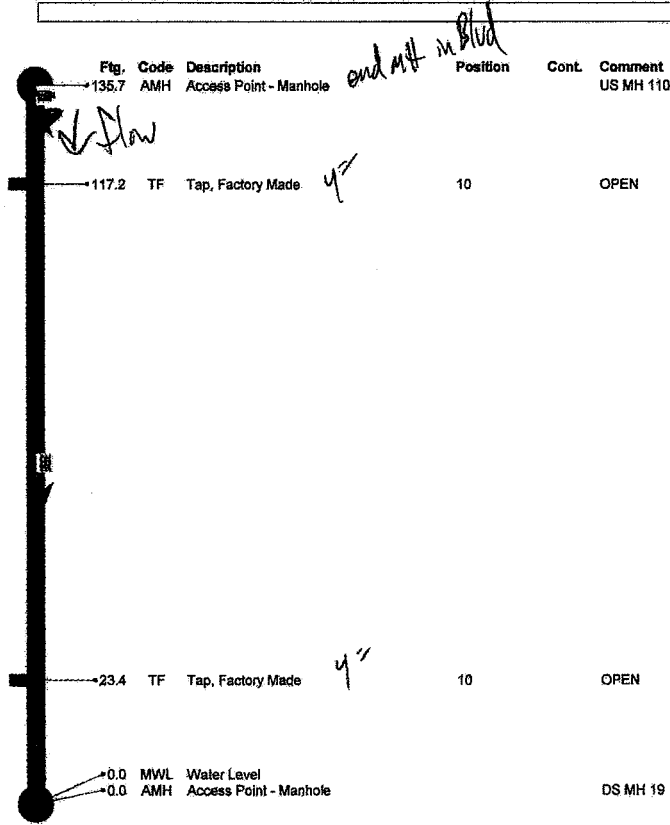
BOLTON & MENK
 7533 SUNWOOD DR NW, SUITE 208
 BLOOMINGTON, MINNESOTA 55308
 Email: bmenk@bolton-menk.com
 www.bolton-menk.com

Isanti
 A Community For Connections

City of Isanti, Minnesota
 2017 Isanti Palomino Road Improvements
 PALOMINO ROAD PLAN & PROFILE

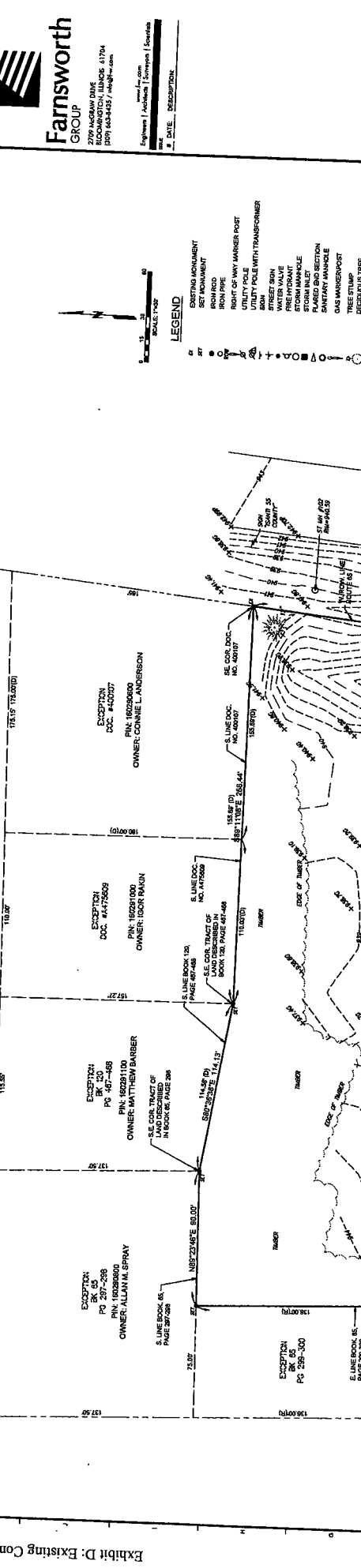
DATE: 05/27/2017
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN

Upstream MH			Downstream MH		
110			19		
Date	Time	Location (Street)		Job Number	
05/23/2017	7:53 AM	PALOMINO RD SE		17200M-01	
Use of Sewer	Pipe Size	Material	Jt. Spacing	Shape	Survey Direction
Sanitary	8	Polyvinyl Chloride	0	Circular	Upstream
Pre-Cleaning	Weather	Surface	US MH Depth	DS MH Depth	Flow Direction
Jetting	Dry	Grass	8	8	W
Media No.	Surveyed Length	Total Length	Surveyor	Certificate No.	Truck No.
01	135.7	135	T PRUITT	U-1207-6155	257
Comments					



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000

ALTAÑSPS LAND TITLE SURVEY
 PART OF SW 1/4 OF SECTION 29, TOWNSHIP 35 NORTH, RANGE 23 WEST OF THE FOURTH PRINCIPAL MERIDIAN
 CITY OF ISANTI, ISANTI COUNTY, MINNESOTA



- LEGEND**
- EXISTING MONUMENT
 - SET MONUMENT
 - IRON ROD
 - CONCRETE MONUMENT
 - RIGHT OF WAY MARKER POST
 - UTILITY POLE WITH TRANSFORMER
 - STREET SIGN
 - WATER VALVE
 - SEWER MANHOLE
 - EDUCATIONAL SIGN
 - STORM INLET
 - PLAID BIRD SECTION
 - CUSTOMARY MANHOLE
 - CUSTOMARY POST
 - TRIP ROD
 - DIVIDUALS TREE
 - OVERHEAD ELECTRIC LINE
 - STANDARD WITH RISE
 - ELEVATION
 - ADJUSTED POSITION
 - RECORD DIMENSION

BENCHMARKS

BM 1653
800 MAIL IN POWER POLE ALONG N ROW LINE PROPERTY BOUNDARY EAST OF SE CORNER OF ELEV. 4937.27

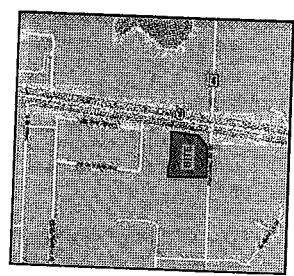
BM 1654
800 MAIL IN POWER POLE ALONG N ROW LINE PROPERTY BOUNDARY EAST OF SE CORNER OF PALOMINO RD. NEAR CENTER OF ELEV. 4937.27

DOLLAR GENERAL
 PROJECT NO. 0181388.00
 24P-559

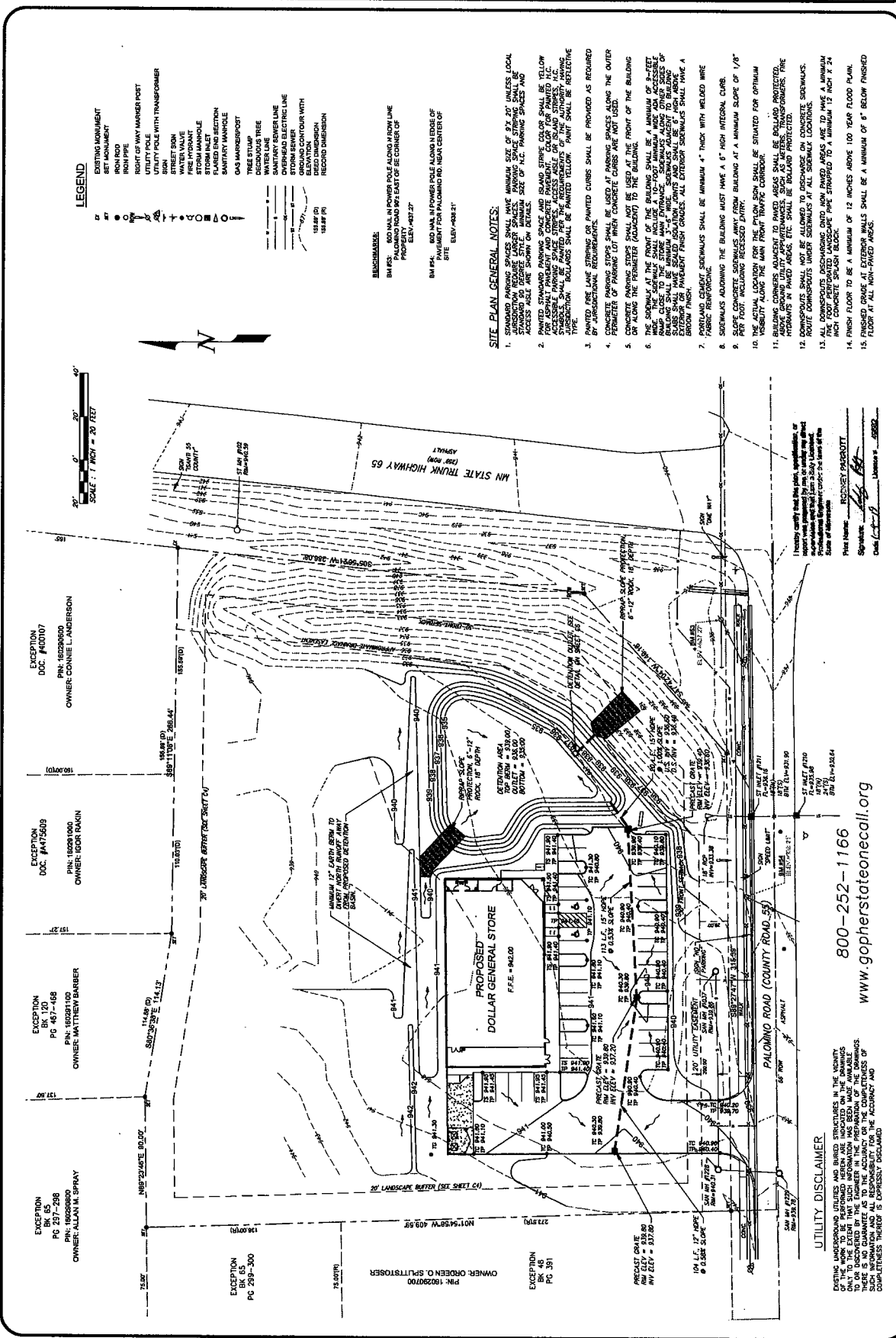
Farnsworth GROUP
 2709 HICKORY DRIVE
 CHICAGO, ILLINOIS 60648
 (773) 464-1921 / farnsworth.com
 Engineers / Architects / Surveyors / Land Surveyors / Easements

ISANTI, MINNESOTA 55040
 DATE: 11-30-18
 DESIGNED: PEB
 DRAWN: GJS
 REVIEWED: TVE
 FIELD BOOK NO.: PED 18870-4
 SHEET NO.: 1
ALTAÑSPS LAND TITLE SURVEY

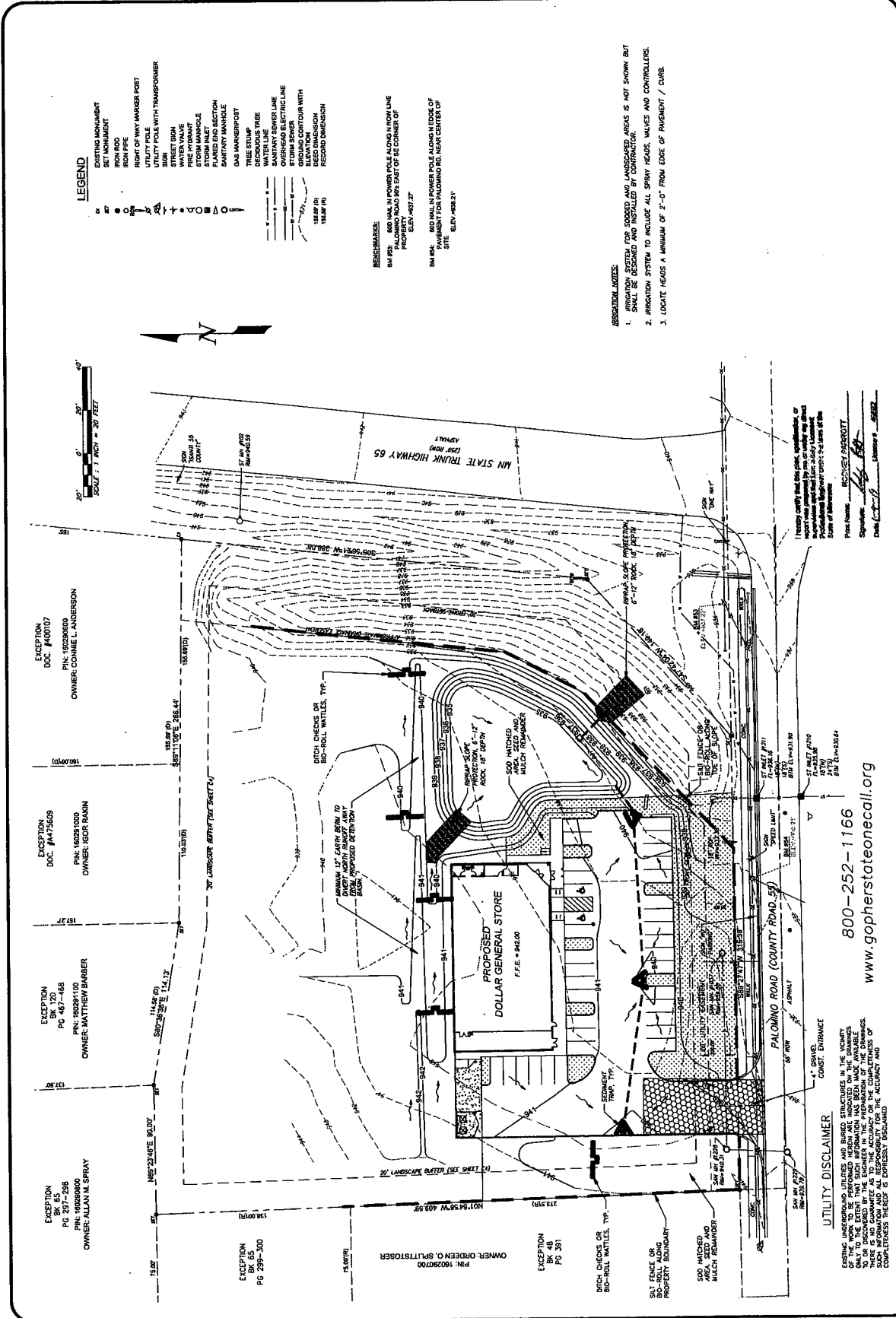
EXISTING TAXID NO. P.M. 16000000
 SW 1/4 SEC 29 T 35N R 23W 4P 1
 PROJECT NO. 0181388.00
 24P-559



				DOLLAR GENERAL ISANTI, MINNESOTA GRADING PLAN		SHEET C2	
NO.	DATE	DESCRIPTION	BY	1584 MAIN ST., ST. PAUL, MN 55102 PHONE: (612) 221-1111 FAX: (612) 221-1112 WWW.OVERLANDENGINEERING.COM			



		DOLLAR GENERAL ISANTI, MINNESOTA SEDIMENT & EROSION CONTROL PLAN	SHEET C3
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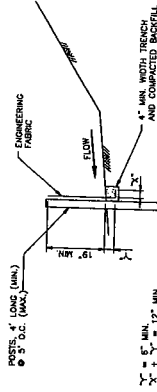


SEEDING AND MULCHING SPECIFICATIONS

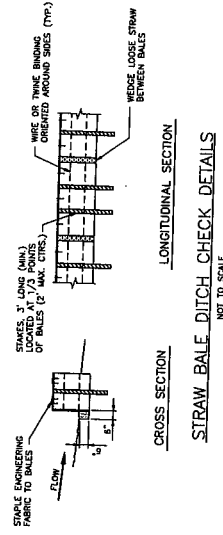
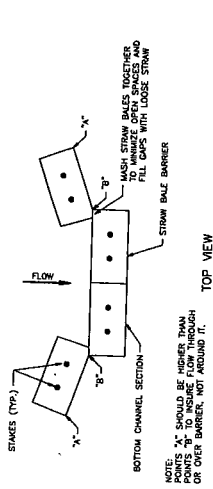
ALL DISTURBED AREAS MUST BE REVEGETATED BEFORE TEMPORARY SEDIMENT CONTROLS CAN BE REMOVED.

1. GOVERNING SPECIFICATIONS, SEEDING, MACHINERY, FERTILIZING, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE MINNESOTA DOT SEEDING MANUAL AS PUBLISHED BY THE OFFICE OF ENVIRONMENTAL SERVICES.
2. SEEDING SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR.
3. FERTILIZER SHALL BE PREPARED LOSSLESS TOPSOIL A MINIMUM OF 3 INCHES.
4. SEEDING SHALL BE TYPE 1 MULCH, APPLIED AT THE RATE OF 2 TONS PER ACRE.
5. MULCHING SHALL BE TYPE 1 MULCH, APPLIED AT THE RATE OF 2 TONS PER ACRE.

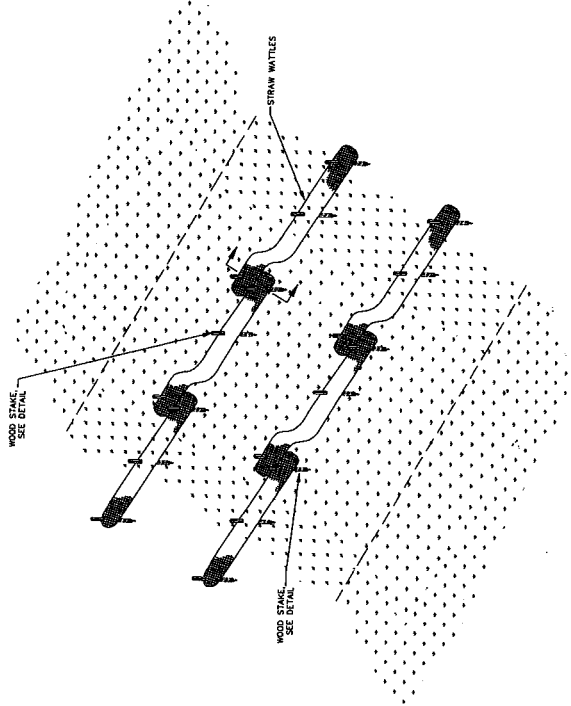
- NOTES:**
1. THE MINIMUM HORIZONTAL SPACING BETWEEN STAKES SHALL BE 6' WITH A MAXIMUM OF 8' AT EACH END.
 2. SECURE FABRIC TO POSTS.



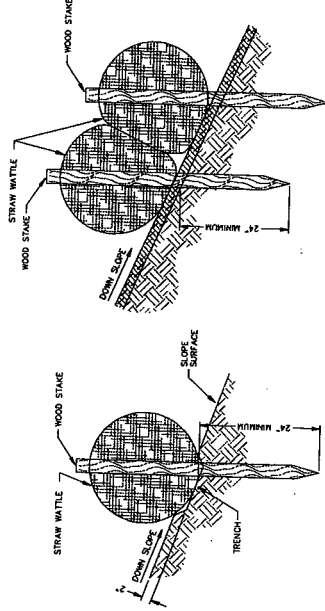
SILT FENCE DETAIL
NOT TO SCALE



STRAW BALE DITCH CHECK DETAILS
NOT TO SCALE



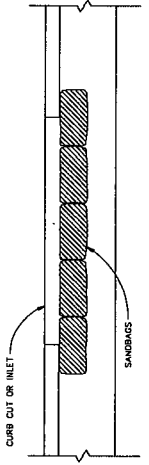
BIO-ROLL/WATTLE DETAIL
NOT TO SCALE



I hereby certify that the data, specifications, and report were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

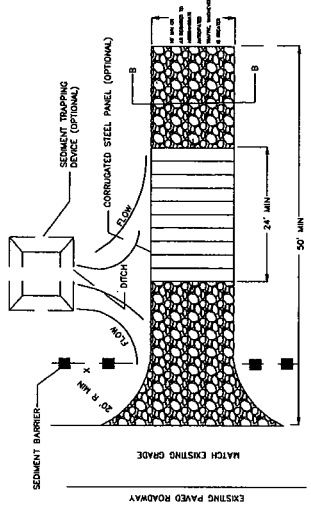
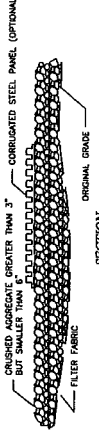
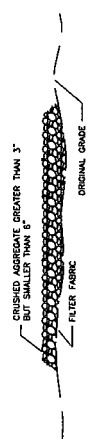
Project Name: **ROOSEVELT PARK**
Operator: **[Signature]**
Date: **1-1-19** License # **00000**

NO.	DATE	DESCRIPTION	BY

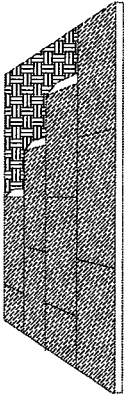


- NOTES:
1. BAGS WITH 5' OF UNBROKEN LENGTH
 2. BAGS SHALL BE BURLAP OR BIODEGRADABLE PLASTIC
 3. BAGS SHALL BE INSPECTED AND REPLACED AS NEEDED.

SEDIMENT TRAP
 NOT TO SCALE

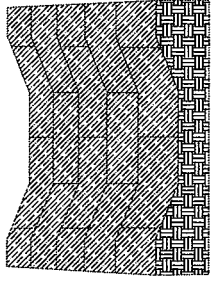


CONSTRUCTION ENTRANCE
 NOT TO SCALE



- LAY SOD IN A STAGGERED PATTERN WITH STRIPS BUTTED TIGHTLY AGAINST EACH OTHER
 ON SLOPE > 3:1 USE PEGS OR STAPLES TO FASTEN SOD FIRMLY AT THE CORNERS AND CENTERS.

INSTALLATION OF GRASS SOD

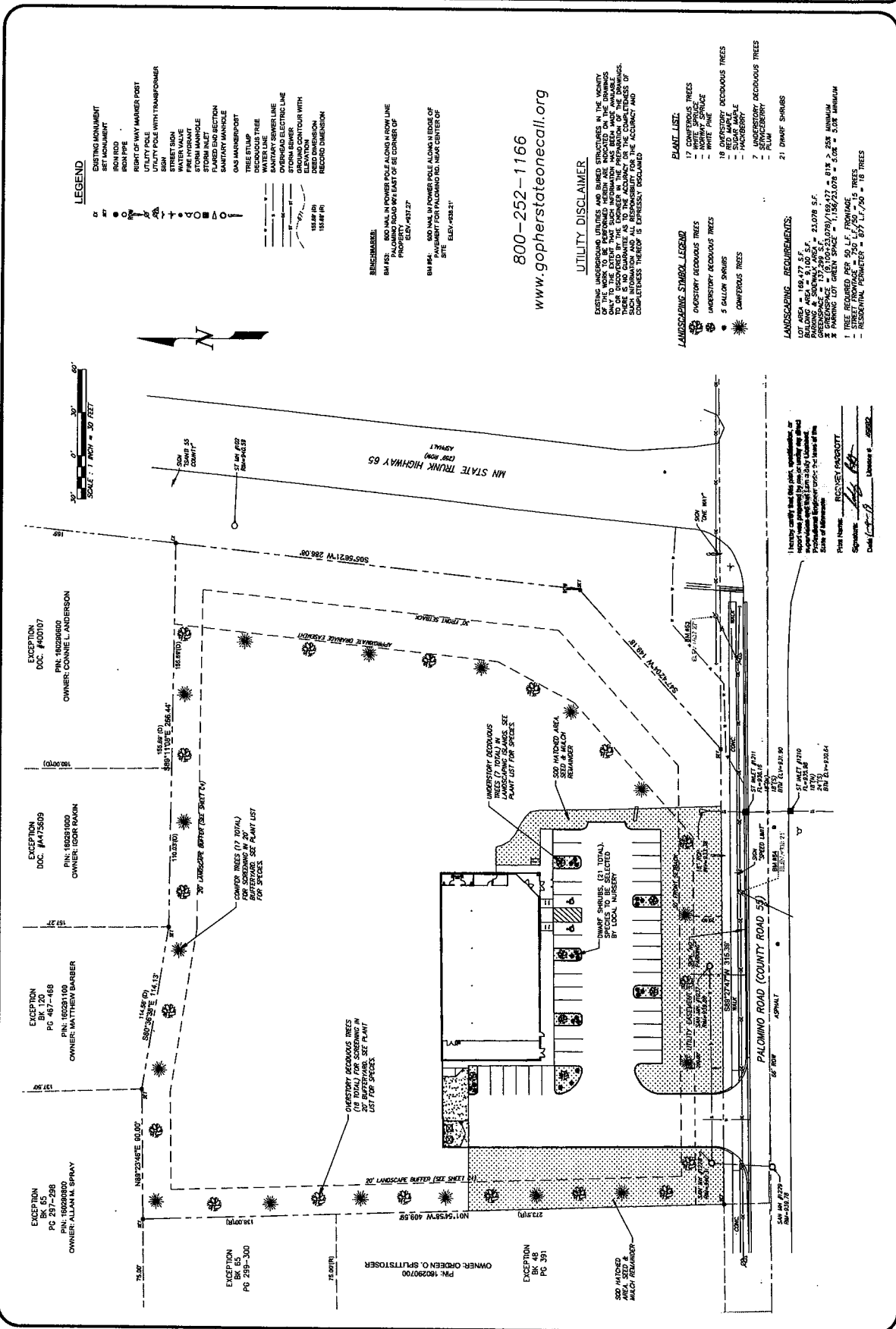


- LAY SOD PERPENDICULAR TO THE WATERWAY AND FASTEN FIRMLY AT THE CORNERS AND CENTERS

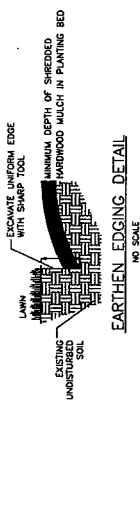
INSTALLATION OF SOD IN WATERWAYS

I hereby certify that the plans, specifications, or reports were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
 Date: 11/12 License # 45882
 Signature: [Signature]
 Print Name: BOBBY PROSITT

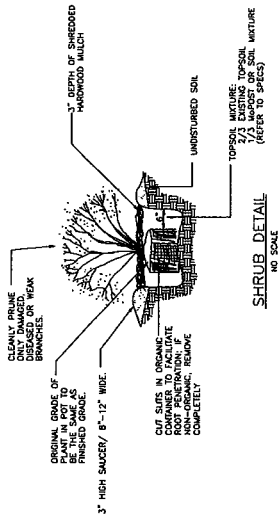
		DOLLAR GENERAL ISANTI, MINNESOTA LANDSCAPING PLAN	SHEET C4
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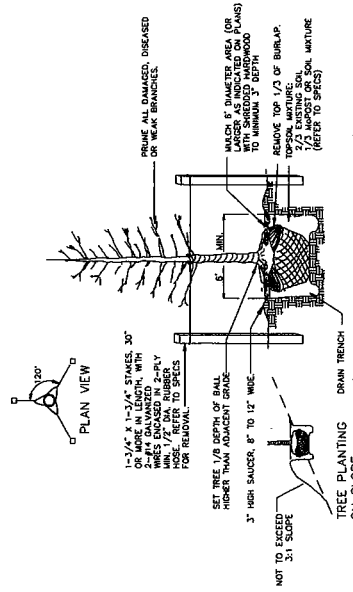
NO.	DATE	DESCRIPTION	BY



EARTHEN EDGING DETAIL
NO SCALE



SHRUB DETAIL
NO SCALE



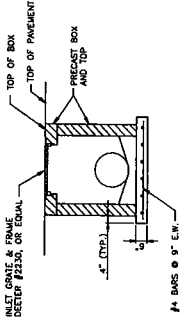
TREE DETAIL— LESS THAN 3 1/2\"/>

- LANDSCAPE NOTES:**
1. ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
 2. ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
 3. ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTING.
 4. MAXIMUM GRADING SHALL NOT EXCEED 4".
 5. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING.
- IRRIGATION NOTES:**
1. IRRIGATION SYSTEM FOR SOODED AND LANDSCAPED AREAS IS NOT SHOWN BUT SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR.
 2. IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
 3. LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB.

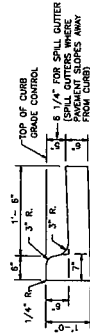
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

Print Name: MICHAEL SACROTT
Signature: *[Signature]*
Date: 11/11/11 License #: 06682

NO.	DATE	DESCRIPTION	BY

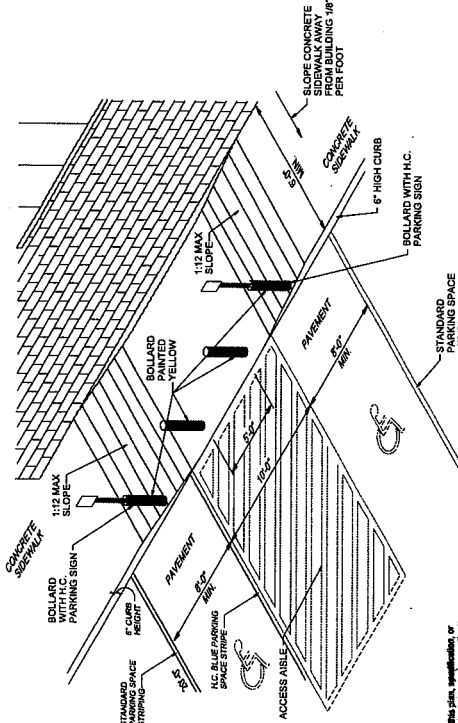


GRATE INLET DETAIL
 NOT TO SCALE



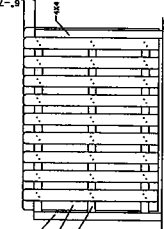
CONSTRUCTION JOINTS @ 20' INTERVALS
 3/4\"/>

CONCRETE CURB & GUTTER DETAIL
 NOT TO SCALE



HANDICAP ACCESS
 NOT TO SCALE

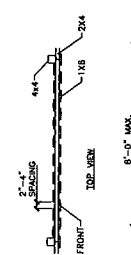
PROTECT PINE (USE GALVANIZED NAILS FOR ALL FRAMING).
 IF ANY PORTION OF LAND ADJACENT TO THE PROPERTY IS TO BE USED FOR RESIDENTIAL PURPOSES, RESIDENTIAL USE OF SIPS IS ACTUALLY BEING USED FOR LESS THAN RESIDENTIAL PURPOSES (RESIDENTIAL PROPERTY).
 A PRIMARY FENCE IN ACCORDANCE WITH TENANTS COMMERCIAL PLANS AND ANY APPLICABLE REGULATIONS SHALL BE MAINTAINED AS A REMAINDER OF THE REASONS FOR THE CONSIDERING FROM SUCH RESIDENTIAL PROPERTY.



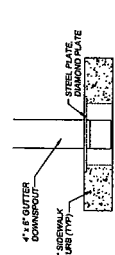
NOTE: NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS OF ACTUAL WIDTH.

REAR VIEW

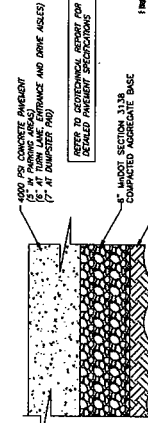
WOOD FENCE DETAIL
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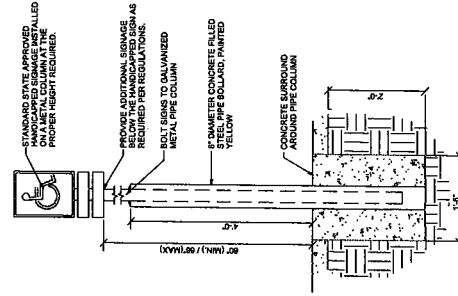
FRONT VIEW



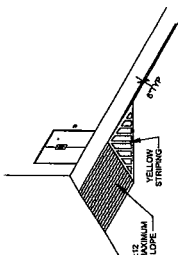
GUTTER DOWNSPOUT DETAIL
 NOT TO SCALE



CONCRETE PAVEMENT SECTION
 NOT TO SCALE



BOLLARD DETAIL
 NOT TO SCALE



SIDE ENTRY DETAIL
 NOT TO SCALE

- STRIPING LINES - SURFACES SHOULD BE CLEAN, DRY, AND METAL SURFACES FREE OF HEAVY RUST & COATS SHERWIN WILLIAMS - YEN 4000 ACRYLIC ALLOY DANIEL SAFETY YELLOW BS1030
- STRIPING - SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRIMA TRAFFIC MARKING PAINT YELLOW 762445
- HANDICAP STRIPING LOT - SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRIMA TRAFFIC MARKING PAINT - H.C. BLUE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: **RODNEY FROSTGOTT**
 Signature: *[Signature]*
 Date: **1-17-18** License #: **45882**

DOLLAR GENERAL

1884 AVENUE, S.E. 2008 WEST PLANE, WYOMING

NO.	DATE	DESCRIPTION	BY

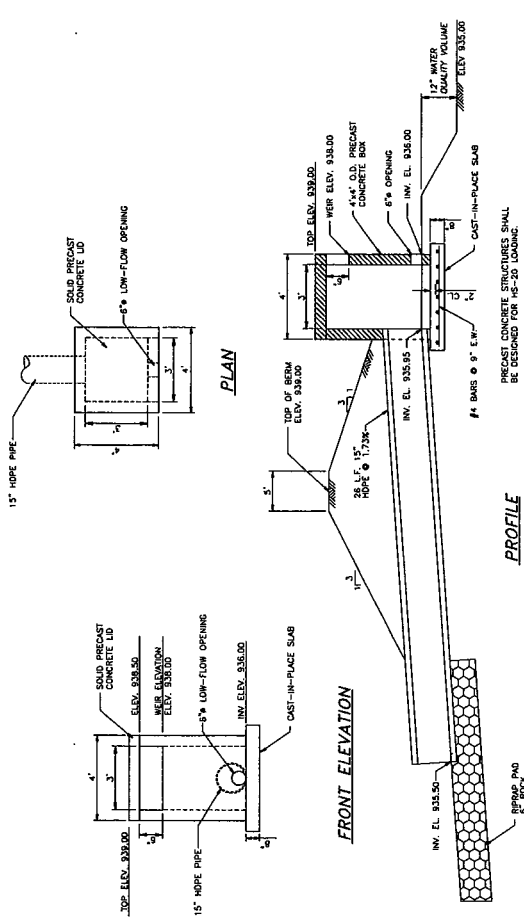
Verland
ENGINEERING, L.C.
PHONE: (414) 256-8200 FAX: (414) 256-8152
www.verlandeng.com

DOLLAR GENERAL
ISANTI, MINNESOTA
DETAILS

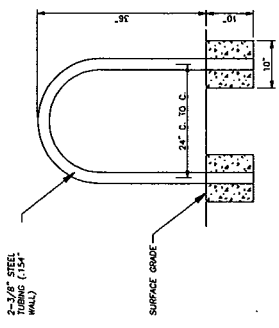
SHEET
C6

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

Professional Engineer License No. 10000
State of Minnesota
Date: 11-17-17
Minneapolis, MN 55402



DETECTION SPILLWAY DETAILS
NOT TO SCALE



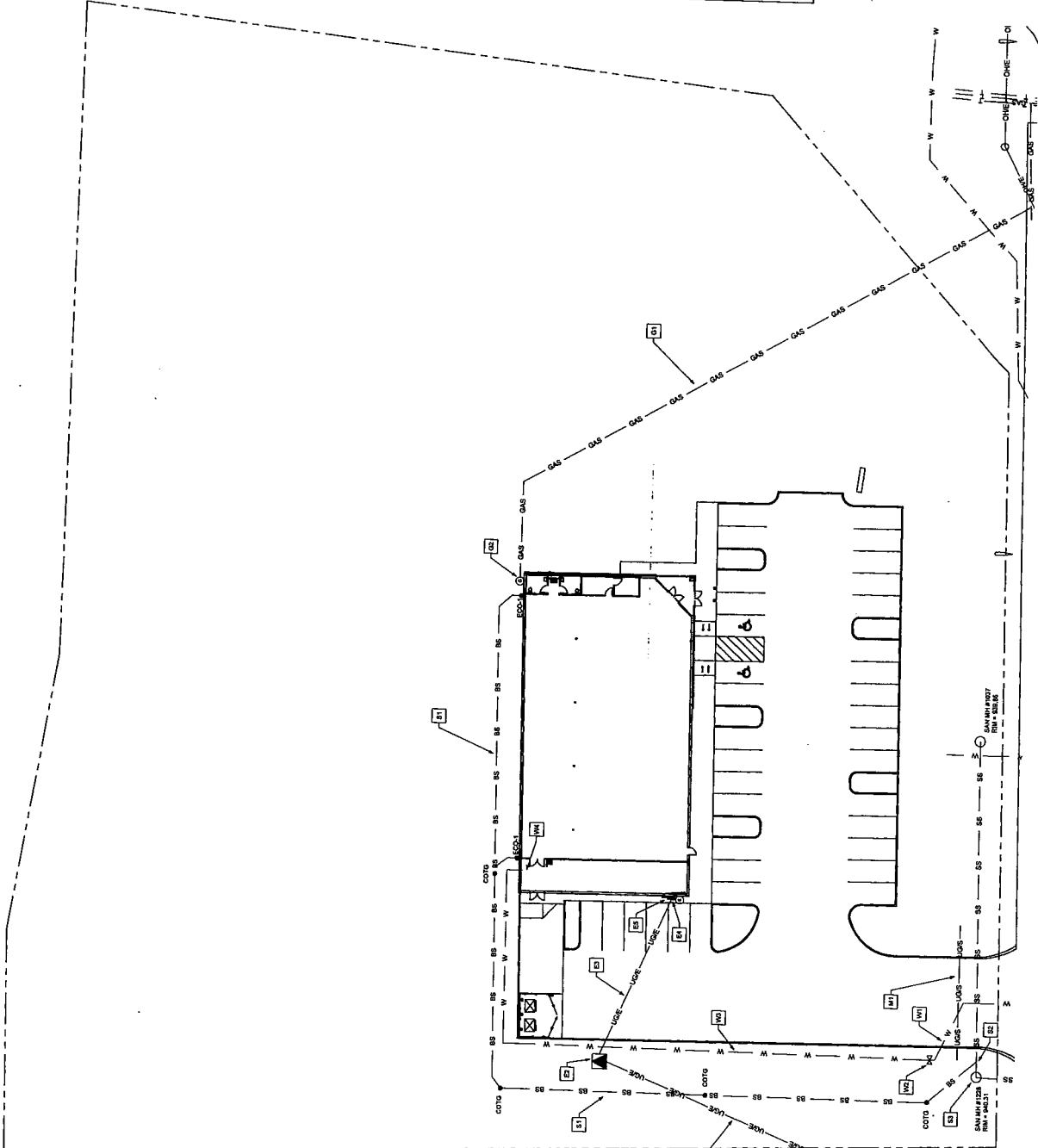
BICYCLE RACK DETAIL
NOT TO SCALE

PROFILE

PLAN

FRONT ELEVATION

Exhibit I: Utility Plan



811 SITE UTILITY PLAN
SCALE: 1" = 32'

Know what's below.
Call before you dig.



FIELD VERIFY AND CORRECTIVE ALL UNUSUAL CONDITIONS FROM WATER DETECTION AND DRAIN FIELDS TO AVOID CONDUCTIVE INTERFERENCE.

SITE UTILITY LEGEND

BS	SANITARY SEWER	FO	FLOOR FINISH
BS	BUILDING SEWER	EM	ELECTRIC METER
W	WATER PIPING	GM	GAS METER
W	WATER SEWER	WM	WATER METER
G	GAS PIPING	FM	FIRE FITTING
G	GAS	PT	PAD MOUNT TRANSFORMER
UOE	UNDERGROUND ELECTRIC	MA	MANHOLE
DHE	OVERHEAD ELECTRIC	CG	CLEARCUT TO GRADE
UOC	UNDERGROUND COUNCIL		
UOS	UNDERGROUND BLEVE		
T	TELEPHONE		

- KEYNOTES**
- E1 PROPOSED UNDERGROUND PIPING BY THE ELECTRICAL UTILITY.
 - E2 PAD MOUNTED TRANSFORMER BY THE ELECTRICAL UTILITY. THE ELEC. SHALL BE SPECIFICALLY IDENTIFIED AND LOCATED BY THE ELECTRICAL UTILITY.
 - E3 UNDERGROUND SERVICE LATERAL BY THE ELECTRICAL CONTRACTOR.
 - E4 CEMENT AND METER SOCKET BY THE ELECTRICAL CONTRACTOR. 1.5" WIPPLE CONTRACTOR.
 - E5 600 AMP 3-PHASE INRUSH FREE SERVICE DISCONNECT BY THE ELECTRICAL CONTRACTOR.
 - G1 NATURAL GAS SERVICE PIPE BY GAS COMPANY.
 - G2 LOCATION OF THE GAS METER WITH A BRACKET VALVE ON THE BURNER SIDE AND A FLEX REGULATOR. THE NATURAL GAS LOAD WILL BE APPROX 250K.
 - G3 1/2" PVC SERVICE WITH FLEX UNDER GRADE. TURN UP AND WEATHERPROOF BOTH ENDS.
 - W1 1/2" UP FOR DOMESTIC AND LAWN IRRIGATION WATER USES. COORDINATE WITH PATCO GAS ETC.
 - W2 1/2" UP WATER SERVICE FOR DOMESTIC AND LAWN IRRIGATION USES.
 - W3 THE WATER METERS WILL BE INSIDE THE BUILDING AT THIS LOCATION.

WATER & SEWER SERVICE MATERIALS

WATER SERVICE PIPE
COPPER BRASSLESS COPPER TUBE TYPE K, SOFT TEMPER. - AMERICAN ASTM B88. LINDSAY TYPE - ASTM B88 OR CAST BRASS AND IRON. HEAVY DUTY SOLDERED JOINTS SHALL BE USED THROUGHOUT. LANSING BRASS 1/2" SOLDER SHALL BE INSTALLED WITHIN 10' OF THE SERVICE DISCONNECT. SOLDER SHALL BE INSTALLED WITHIN 10' OF THE SERVICE DISCONNECT WITH AN ANTI-SWEAT SOLUTION. SOLDER SHALL BE INSTALLED WITHIN 10' OF THE SERVICE DISCONNECT WITH AN ANTI-SWEAT SOLUTION.

SEWER SERVICE PIPE
PVC SEWER PIPE - 108" DIA. CONTINUOUS GRANULAR BED INSTALLATION SHALL BE USED FOR ALL SEWER SERVICE PIPING. ALL SEWER SERVICE PIPING SHALL BE INSTALLED WITHIN 10' OF THE SERVICE DISCONNECT. SOLDER SHALL BE INSTALLED WITHIN 10' OF THE SERVICE DISCONNECT WITH AN ANTI-SWEAT SOLUTION.

DOLLAR GENERAL
TYPE
HIGHWAY 85 & PALOMINO ROAD
ISANTU, ISANTU COUNTY, MINNESOTA

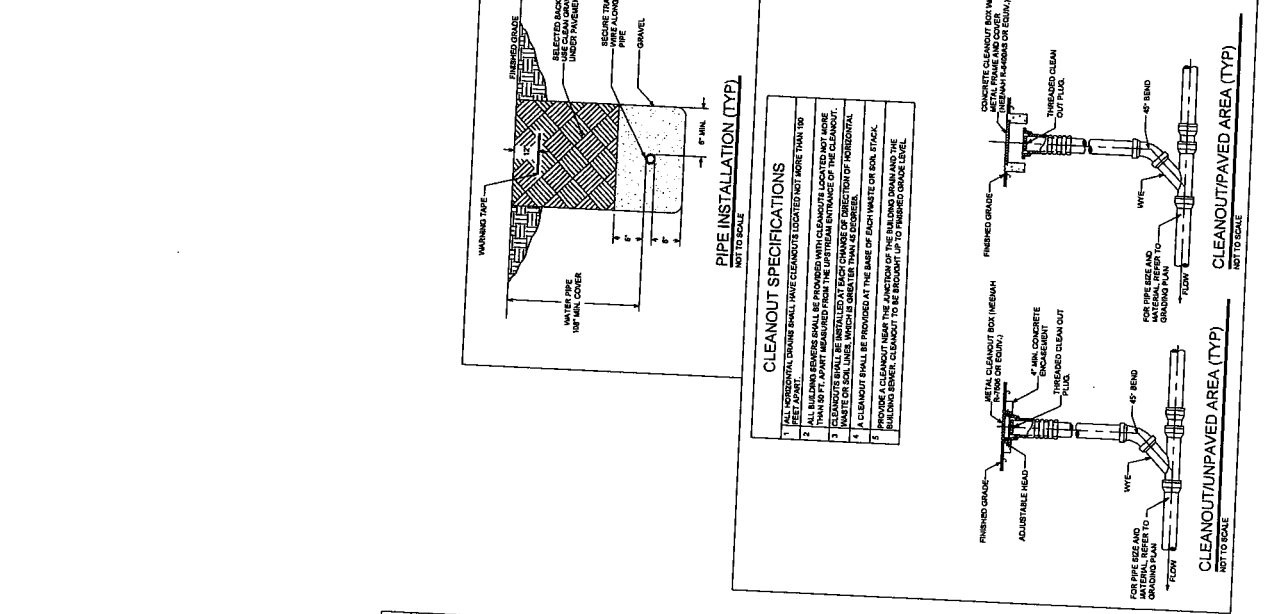
PATRICK D. CROCKER, P.E.
3211 EAST SHADY GLEN
MINNEAPOLIS, MINNESOTA 55406
PHONE: (612) 432-4008

DATE: 11/20/2018
PROJECT: SU1

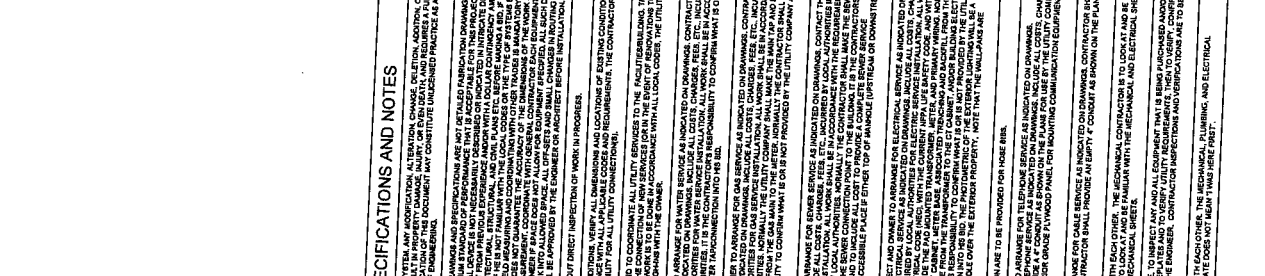
REVISIONS:
NO. DATE DESCRIPTION
1 01-19-2019

© 2018 THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THE ENGINEER SHALL BE CONTACTED BY THE CLIENT FOR ANY CHANGES TO THIS PROJECT. THE ENGINEER SHALL BE CONTACTED BY THE CLIENT FOR ANY CHANGES TO THIS PROJECT. THE ENGINEER SHALL BE CONTACTED BY THE CLIENT FOR ANY CHANGES TO THIS PROJECT.

THESE DRAWINGS ARE INSTRUMENTS OF THE ENGINEER FOR THE PROJECT DESCRIBED HEREIN. THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE ACCURACY OF THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE PERFORMANCE OF THE PROJECT. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR FOR THE PERFORMANCE OF THE PROJECT. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR FOR THE PERFORMANCE OF THE PROJECT.



PIPE INSTALLATION (TYP.)
 NOT TO SCALE



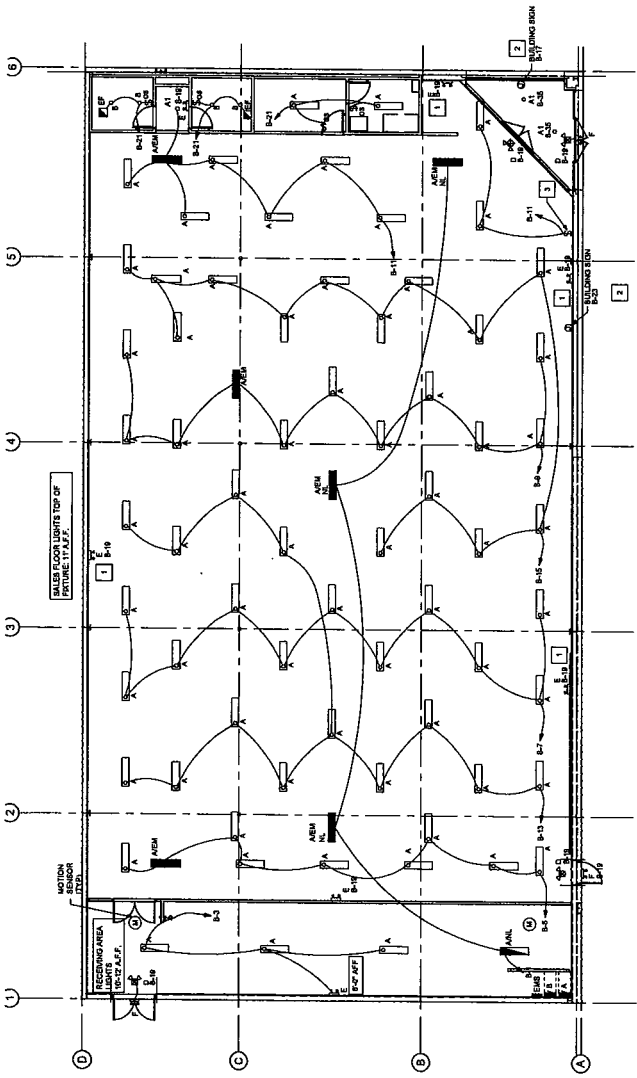
CLEANOUT IN PAVED AREA (TYP.)
 NOT TO SCALE

CLEANOUT IN UNPAVED AREA (TYP.)
 NOT TO SCALE

- CLEANOUT SPECIFICATIONS**
- ALL CLEANOUTS SHALL HAVE CLEANOUTS COATED NOT MORE THAN 10 FEET APART.
 - ALL BUILDING SERVICES SHALL BE PROVIDED WITH CLEANOUTS COATED NOT MORE THAN 10 FEET APART.
 - CLEANOUTS SHALL BE PROVIDED AT EACH CHANGE OF DIRECTION OF THE CLEANOUT.
 - CLEANOUTS SHALL BE PROVIDED AT EACH CHANGE OF DIRECTION OF HORIZONTAL CLEANOUTS.
 - CLEANOUTS SHALL BE PROVIDED AT THE JUNCTION OF HORIZONTAL CLEANOUTS.
 - PROVIDE A CLEANOUT FOR EACH SERVICE LINE TO THE BUILDING AND THE BUILDING BENCH, CLEANOUT TO BE REDUCED TO FINISHED GRADE LEVEL.

GENERAL SITE UTILITY SPECIFICATIONS AND NOTES

1	THESE NOTES AND SPECIFICATIONS ARE PART OF AN INTEGRATED DESIGN SYSTEM. ANY MODIFICATION, ALTERATION, CHANGE, DELETION, ADDITION, OR SUBSTITUTION OF ANY PART OF THE DESIGN SHALL BE APPROVED BY THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL BE HELD RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR FOR THE PERFORMANCE OF THE PROJECT.
2	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
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13	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
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1 LIGHTING PLAN
SCALE: 1/8" = 1'-0"

LUMINAIRE SCHEDULE (SEE NOTES REGARDING REQUIRED NATIONAL ACCOUNT VENDORS)

CALLOUT	SYMBOL	DESCRIPTION	MODEL	AMOUNT	UNIT	NOTES	QTY
A	○	4' STRIP SUSPENDED 27W LED	US LED: WFL-RF-C03-D-30-90	37	WATTS		89
A-1	○	6' LED ROUND CAN 17W LED	US LED: LTR-H-100-60-150-CA-1H	15	LS		3
AEN	○	4' STRIP 27W LED SUSPENDED 27W LED SUSPENDED 27W LED PROVIDE EMERGENCY LIGHTING	US LED: WFL-RF-C03-D-30-90	37			6
ANL	○	4' STRIP SUSPENDED LED 27W W/RED AS NIGHT LIGHT	US LED: WFL-RF-C03-D-30-90	37			1
B	○	6' LED ROUND CAN 17W LED	US LED: LTR-H-100-60-150-CA-1H	15	LS		4
D	○	EMERGENCY LIGHTING BOND BOARD	C007 LEES LIGHTING 24E-LED	4			4
E	○	EMERGENCY LIGHT FIXTURE	C007 LEES LIGHTING 1M-CRW-LED	2			7
EP	○	RECEIVING AREA ONLY SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR, DISCONNECT AND CONTRACTOR		2			2
F	○	EMERGENCY LIGHT FIXTURE - WET LOCATION LISTED	C007 LEES LIGHTING 24E-LED	4			3
G-1	○	FULL CUTOFF LED WALL PACK LIGHT FIXTURE	RECALL WFL-100-90-90-90	50			4
H-1	○	SINGLE FIXTURE WALL MOUNT WARM	US LED: CFA-L-100-1-300-90	140			4
S-1	○	SINGLE FIXTURE POLE LIGHT ON 20' TALL POLE	US LED: CFA-L-100-1-300-90	140			2

NOTE: THE E.C. IS RESPONSIBLE TO COUNT AND CONFIRM THE QUANTITIES OF THE FIXTURES IN THE PLANS PRIOR TO ORDERING.
LED LIGHT HEADS ARE COMBINED ON FOUR SIDES PLUS THE BACK WITH THE LIGHT BEING BRACKETED IN ONE DIRECTION. LIGHT HEADS MOUNTED AND POINTING IN A COMMANDER DIRECTION ACCOUNT FOR THE TOTAL OF WHAT NEED TO BE CALLED "TALL CUTOFF". IN THIS WAY THE FINISHED LOT IS NOT OVER THE PROPERTY LINE OR ADJACENT PROPERTY LINES.

SWITCH SCHEDULE

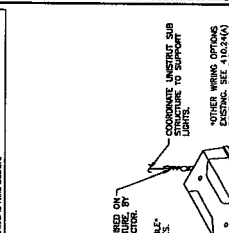
SYMBOL	CALLOUT
○	SINGLE POLE SWITCH
○	SINGLE POLE SWITCH WITH OCCUPANCY SENSOR
○	THE OPERATING PART OF LIGHT SWITCHES SHALL BE NO MORE THAN 48" AFF TO ENTRY ACCESSIBILITY REQUIREMENTS.

KEYNOTES

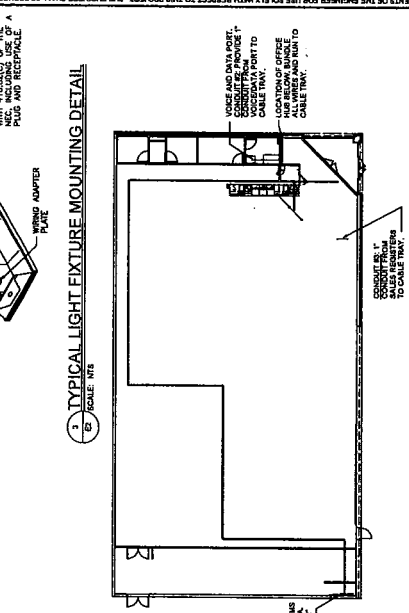
- EMERGENCY LIGHT ROOM ALSO HAS EMERGENCY LIGHTS AND IS NOT THROUGHOUT THE BUILDING IN COMPLIANCE WITH ALL APPLICABLE CODES. INITIAL LIGHTING SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIGHTING DESIGN AND SHALL PROVIDE A LIGHTING PLAN TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- RECEIVING AREA LIGHTS SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIGHTING DESIGN AND SHALL PROVIDE A LIGHTING PLAN TO THE ARCHITECT FOR REVIEW AND APPROVAL.
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EMS/LIGHTING CONTROL REQUIREMENTS FOR ENERGY CONSERVATION CODE

- ALL EXTERIOR LIGHTING OTHER THAN PARASOL LIGHTS AND SECURITY LIGHTS SHALL BE CONTROLLED BY AN AUTOMATIC TIME SWITCH.
- ALL EXTERIOR LIGHTING OTHER THAN PARASOL LIGHTS AND SECURITY LIGHTS SHALL BE CONTROLLED BY AN AUTOMATIC TIME SWITCH.
- PARASOL LIGHTS SHALL HAVE A TIME LIMIT OF 2 HOURS OR LESS.
- FOR SECURITY REASONS, THE SALES AREA LIGHTS WILL BE CONTROLLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIGHTING DESIGN AND SHALL PROVIDE A LIGHTING PLAN TO THE ARCHITECT FOR REVIEW AND APPROVAL.
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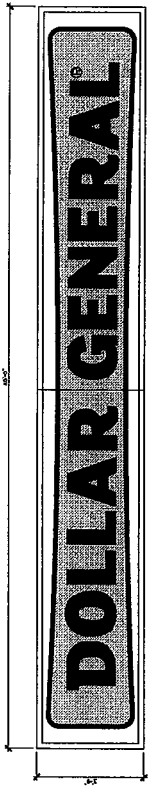
2 TYPICAL LIGHT FIXTURE MOUNTING DETAIL
SCALE: N/A



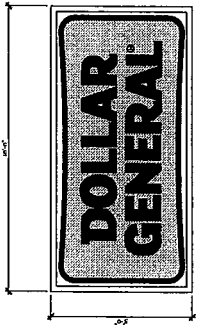
3 CABLE TRAY PLAN AND CONDUIT DIAGRAM
SCALE: N/A

NOTE REGARDING NATIONAL ACCOUNTS: REFER TO A1.D. GENERAL NOTES (ARCHITECTURAL SHEETS) FOR A LIST OF REQUIRED NATIONAL ACCOUNTS. THE CONTRACTOR SHALL PURCHASE ALL REQUIRED SYSTEMS FROM THE REQUIRED NATIONAL ACCOUNT VENDOR.

Exhibit M: Proposed Signage



MAIN BUILDING SIGN



PRIMARY ELEVATION SIGN

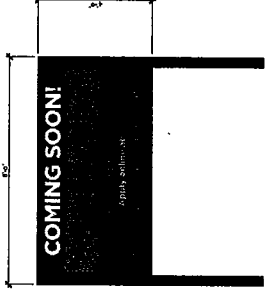
1 SIGNAGE ELEVATIONS

SIGN SPECIFICATIONS

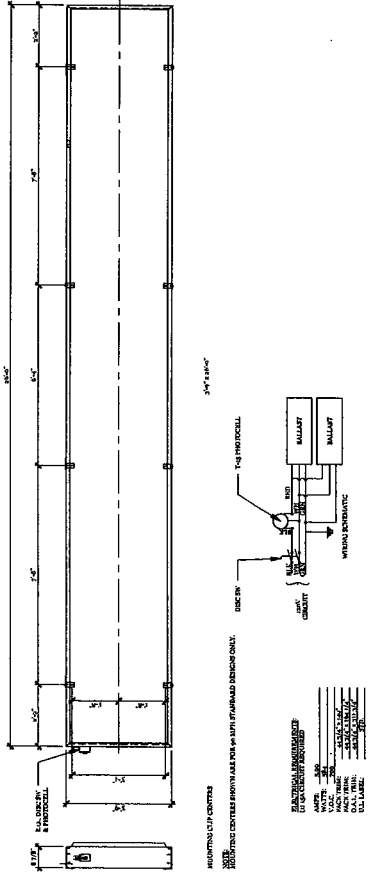
- ALL SIGNAGE SHALL BE FABRICATED FROM ALUMINUM OR STAINLESS STEEL. SIGNAGE SHALL BE MOUNTED TO A CONCRETE OR BRICK FOUNDATION. SIGNAGE SHALL BE MOUNTED TO A CONCRETE OR BRICK FOUNDATION. SIGNAGE SHALL BE MOUNTED TO A CONCRETE OR BRICK FOUNDATION.
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SECTION	SECTION	SECTION	SECTION
SECTION	SECTION	SECTION	SECTION
SECTION	SECTION	SECTION	SECTION
SECTION	SECTION	SECTION	SECTION

JOB SITE SIGN
THIS SIGN TO BE PROVIDED & INSTALLED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF THIS CONSTRUCTION PROJECT.



2 SIGNAGE BRACING DETAILS



JOHN D. TORGERSON, ARCHITECT
116 NORTH 2ND AVENUE • OZARK, MO 65721 • P (417) 681-8889 • F (417) 681-9002
STORE #20528 • PROTOTYPE R.
ISANTLI, MINNESOTA
NORTHEAST CORNER OF STATE HIGHWAY 68 NE & PALOMINO ROAD SE
ISANTLI, ISANTLI COUNTY, MINNESOTA 55949

PRELIMINARY
NOT FOR CONSTRUCTION

NAME: JOHN D. TORGERSON
ARCHITECT OF RECORD
LICENSE NO. 5886
PROJECT NUMBER: JDD01.DGA1
REVISIONS

A7.1
SIGNAGE &
SIGNAGE DETAILS
DATE: FEBRUARY 03, 2009



To: Chairman Johnson and Planning Commission

From: Don Lorsung, Asst. City Administrator / Special Projects

Date: March 12, 2019

Subject: Comprehensive Plan Update Timeline

Staff has reviewed the existing 2008 City Comprehensive Plan. The existing plan consists of an Executive Summary and Eight Chapters, as outlined below. Staff would meet with the Planning Commission at their regular meetings on the target months to review plan sections, unless a special meeting would need to be scheduled due to regular business needs of the Commission. Plan sections as well as objectives would be reviewed. Figures and exhibits will also need to be produced.

The proposed schedule is as follows:

- Review Chapter 1 – Community Vision, Goals & Strategies – May, 2019
(Review Goals & Strategies for Relevance)
- Review Chapter 2 – The Community – June 2019
 - Populations & Trends
 - Household Growth & Forecasts
 - Persons by Age
 - Community Facilities
 - Collaborative & Intergovernmental Relationship
- Review Chapter 3 – Housing and Neighborhoods – August, 2019
 - Framework and Assumptions
 - Existing Conditions
 - Analysis and Recommendations
- Review Chapter 4 – The Economy – October, 2019
 - Existing Conditions
 - EDA

Employers & Employees
Travel & Commuting
Income
Employment Growth
Vacant Land Supply
Analysis & Recommendations

- Review Chapter 5 – Natural Resources – November, 2019
 - Conservation Planning Approach
 - Inventory of Natural Resources & Stormwater Management
 - Implementing the Conservation Plan
- Review Chapter 6 – Parks, Trails & Open Space – December, 2019
 - Existing Conditions
 - Park Dedication Ordinance
 - Park, Trails & Open Space Recommendations
- Review Chapter 7 – Land Use & Growth – January, 2020
 - Land Use Inventory & Existing Natural Areas
 - Intrinsic Suitability
 - Existing Land Use
 - Existing Land Use Designation
 - Existing Growth Patterns
 - Future Land Use Plan- Natural Areas & Growth
 - Basic Planning Provisions
 - Physical Character
 - Future Land Use Designations
- Review Chapter 8 – Transportation – February, 2010
 - Transportation Goals and Objectives
 - Transportation Elements
 - Proposed Functional Classification System
- Draft Plan – PC Public Hearing – March, 2020



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, MAY 21, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Swear in new member Alexander Collins
 - C. Roll Call
 - D. Appointment of Sheila Sellman, Community Development Director as Planning Commission Secretary
 - E. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the March 19, 2019 Planning Commission Meeting

3. Public Hearings
 - A. Request from Stacy Upton (dba Idle Hands Tattoo) for approval of an Interim Use Permit required under City Ordinance 445, Section 7, Article Two, Subd. 4 (K). Said request is for the operation of a Tattoo Parlor/Body Piercing Studio at 303 Credit Union Drive NE, Unit 5, PID 16.077.0050 & 16.077.0060

 - B. Request from Amber Blesener (dba Amber's Hair Salon) for approval of an Interim Use Permit required under City Ordinance 445, Section 6, Article I, Subd. 5 and Section 13, Article I, Subd. 4(C). Said request is for operation of a home occupation (hair salon) at 201 4th Avenue NW, PID 16.042.0110

 - C. Request from Dollar General for Preliminary and Final Plat approval of a Minor Subdivision under City Ordinance 536, Article 3., at 340 Palomino Road SE. PID 16.029.0900

4. Other Business
 - A. Continuation of consideration of a Request from Dollar General, Inc. for approval of a Site Plan Review per Ordinance 445, Section 18, Subd. 2(A) for construction of a general retail establishment at 340 Palomino Road SE, PID 16.029.0900

5. Discussion Items.
 - A. Moratorium on Self-Storage Facilities' in B-2 Commercial District.

 - B. Comprehensive Plan Update - Review of Community Goals & Strategies

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
MARCH 19, 2019**

1. Meeting Opening.

A. Call to Order.

Chairman Johnson called the meeting to order at 8:06 p.m.

B. Pledge of Allegiance.

Everyone rose for the pledge of allegiance.

C. Roll Call.

Members Present: Jeff Johnson, Dan Collison, Steve Lundeen, Ross Lorinser, Paul Bergley and Arissya Simon .

Members Absent: None

Staff Present: City Administrator Josi Wood, Contracted City Planner Ryan Kernosky, Assistant City Administrator/Special Projects Don Lorsung

Others Present: George Hemen, Elizabeth Anderson, Rod Barrows, Mark Reller, Jill Reller, Ordeen Splittstoser.

D. Agenda Modifications.

None

2. Approval of Minutes from February 19, 2019 Planning Commission Meeting.

Motion by Collison, second by Bergley to approve the February 19, 2019 Planning Commission Meeting Minutes. Motion was approved 6-0.

3. Public Hearings

A. Request from Dollar General, Inc. for approval of a Site Plan Review per Ordinance 445, Section 18, Subd. 2(A) for construction of a general retail establishment on PID 16.029.0900
Chairman Johnson opened the public hearing at 8:12 p.m. Kernosky presented the staff report, commenting that this is a permitted use and that the project meets requirements. He discussed the flexible design standards (regarding the 15% building size requirement), a modified landscaping plan to add more buffer on the west property line and moving the loading doors, which are covered in the conditions prepared by staff. George Hemen, 323 Palomino Rd SE, presented a statement and concerns that the project was against City growth strategy and would cause economic distress. Other concerns regarded the building size in relation to the lot size, outdoor lighting concerns, and street and Hwy 65 traffic. Dollar General representative Brian Bass, BJ Baas Builders, reviewed the project, orientation of the building and traffic access. He shared that they have built a number of stores for Dollar General. With no further public input, the public hearing was closed at 8:17 p.m.

2A

The Commission reviewed the request. Questions were asked concerning the location of the parking area, signage and possibility of other development on the lot. Kernosky shared that Dollar General required that no other retail development could be built on the lot for 20 years. Lorinser discussed that the lot area was designed for a strip mall or additional commercial use and that the Overlay District was to allow flexible building standards that would increase use and tax value of City commercial property on Hwy 65. Discussion of development of the lot continued. Kernosky shared that the lot could be subdivided to allow for additional use and that was shared with the developer. Simon asked about development of the north lot and asked if this project was approved, would it apply to other lots. Kernosky shared that no, each development is reviewed on its own merits. Discussion by the Commission continued.

A motion was made by Lorinser to approve the project to meet the 15 % building size with a lot split and conditions as recommended by staff. The motion was not seconded.

There was further discussion on options/next steps.

Motion by Lorinser, seconded by Bergley, to table the request and have staff advise the applicant that they need to meet the 15% building size to lot size requirement. Motion passed 6-0.

4. Other Business.

A. None

5. Discussion Items

A. Comprehensive Plan Update – Lorsung presented the staff memo on the proposed project timeframe for the Update. Presentations of draft Plan Chapters would begin in May, 2019, with the Public Hearing on the Updated Comprehensive Plan scheduled for March, 2020. Staff will proceed with the project timeline as presented.

6. Other Communications.

A. None.

7. Adjournment

Motion by Lundeen second by Bergley to adjourn the March 19, 2019 meeting of the Planning Commission. Motion was approved 6-0.

The meeting adjourned at 8:36 p.m.

Dated at Isanti, Minnesota this 21st day of March 2019.

Respectfully submitted,

Don Lorsung
Assistant City Administrator/Special Projects



MEMORANDUM

TO: Planning Commission
 FROM: Sheila Sellman, Community Development Director
 DATE: May 21, 2019
 SUBJECT: RESOLUTION 2019-XXX – INTERIM USE PERMIT FOR TATTOO STUDIO
 AT 303 CREDIT UNION DRIVE

Request:

Stacy Upton is requesting an Interim Use Permit to operate a 1,250 square foot tattoo studio in an existing strip mall located at 303 Credit Union Drive.

Background:

The subject site is zoned B-2, general business. This district is designed and intended to promote the development of commercial uses which are predominately auto-oriented in nature. The district caters to highway-oriented businesses as well as to businesses that provide basic shopping and service needs to the community. The proposed location of the tattoo studio is within an existing strip mall that has vacant space available. The B-2 district requires an Interim Use Permit (IUP) for tattoo parlor.

Interim Use Permits

The purpose of an interim use permit is to allow a temporary use that is not designated as permitted or conditionally permitted but is acceptable for a limited period of time subject to conditions.

Section 21, Subd. 5 provides criteria for granting an interim use permit. Staff comments are *Italicized*:

- A. The proposed use shall meet the applicable zoning regulations
The proposed use meets the applicable zoning regulations as tattoo studios are a permitted interim use in the B-2 Zoning District.
- B. The proposed use will not adversely impact implementation of the Comprehensive Plan
The 2008 Comprehensive Plan identifies this parcel as general commercial. The purpose of this category is to identify portions of the city that contain or should be developed for general commercial use. Examples may include highway-oriented businesses such as fast food, gas stations, and other auto-oriented businesses. Limited office and service uses are appropriate in these areas.
- C. The proposed use will terminate upon a date or event that can be identified with certainty
Interim Uses are short-term by nature. Staff suggests to allow this use for three years with possibility to renew. This will be included in the recommendation.

- D. The proposed use will not impose additional costs on the public if it is necessary for the public to take the property in the future
The subject site is a multi-use retail center, this specific use will not impose additional costs if the public were to take the property in the future.
- E. The applicant has signed a consent agreement agreeing that the applicant, owner, operator, tenant and/or user has no entitlement to future re-approval of the Interim Use Permit
The owner and applicant have signed the application.
- F. The proposed use will be subjected to, by agreement with the property owner, any conditions that the City Council deems appropriate for permission of the proposed interim use, including a condition that the owner may be required to provide an appropriate surety to cover the cost of removing the interim use and any interim structures upon the expiration of the interim use. *The following conditions are suggested and listed in the resolution of approval:*
1. *The Interim Use Permit is granted to Stacy Upton for the property located at 303 Credit Union Drive NE. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for 30 consecutive days; (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City ordinances; (4) the use is approved until June 30, 2022.*
 2. *The Studio shall be limited to the location and 1,250 square feet area as indicated on the site plan.*
 3. *The hours of operation shall be Sunday-Sunday 10am to 8pm*
 4. *Compliance with all State of Minnesota requirement shall be met.*

Staff Recommendation:

Staff recommends approval with the 4 conditions listed in the staff report and reflected on the Resolution.

RESOLUTION 2019-XXX

**A RESOLUTION APPROVING THE INTERIM USE PERMIT FOR A TATTOO STUDIO AT
303 CREDIT UNION DRIVE**

WHEREAS, Stacy Upton has applied for an Interim Use Permit to operate a tattoo studio on the property at 303 Credit Union Drive (PID 106770050); and,

WHEREAS, the property is legally described as Lot 5, Block 1, of Credit Union Addition; and,

WHEREAS, the property is located within the B-2 General Business District and an Interim Use Permit is required for a tattoo parlor; and,

WHEREAS, pursuant to Section 21, Article 3, Subd. 4, a public hearing was conducted May 21, 2019 by the City of Isanti City Planning Commission; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval with conditions stipulated in this Resolution; and,

WHEREAS, the City Council of the City of Isanti reviewed the requested Interim Use Permit at its regularly scheduled meeting on June 4, 2019.

NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, approves the requested Interim Use Permit; and,

BE IT FURTHER RESOLVED by the City Council of the City of Isanti, Minnesota that the Interim Use Permit as requested for a tattoo studio on the property located at 303 Credit Union Drive, legally described as Lot 5, Block 1, Credit Union Addition be approved, with the following conditions:

1. The Interim Use Permit is granted to Stacy Upton for the property located at 303 Credit Union Drive NE. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for 30 consecutive days; (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City ordinances; (4) the use is approved until June 30, 2022.
2. The Studio shall be limited to the location and 1,250 square feet area as indicated on the site plan.
3. The hours of operation shall be Sunday-Sunday 10am to 8pm
4. Compliance with all State of Minnesota requirement shall be met.

This Resolution is hereby approved by the Isanti City Council this 4th day of June, 2019.

Attest:

Mayor Jeff Johnson

Katie Brooks
Human Resources/City Clerk



To: Chairman Johnson and Planning Commission

From: Sheila Sellman, Community Development Director

Date: May 21, 2019

Subject: Interim Use Permit for home occupation at 201 4th

After further staff review it has been determined that an Interim Use Permit (IUP) is not necessary this home occupation can be approved by the zoning administrator.

The property is zoned R-1. Section 6 Subdivision 3 E allows permitted home occupations, as regulated by section 13 of this ordinance. Since this use is a permitted home occupation an IUP is not required.

The Planning Commission will need to open the public hearing and close it, since it was advertised. No further action is necessary

municipalgroup.org

Ryan J. Kernosky, MPA
Municipal Consultant

ryan@municipalgroup.org
715-212-0416

MEMORANDUM

TO: City Plan Commission
FROM: Ryan Kernosky, Contract City Planner
DATE: May 21, 2019

RE: **PUBLIC HEARING – MINOR SUBDIVISION PLAT – DOLLAR GENERAL**

Request: A request from Overland Engineering, representing Dollar General, for a Minor Subdivision Plat approval.

Background: During the March 2019 Planning Commission meeting, the Commission considered the request from Dollar General to construct a store on PID 160290900. During the Site Plan approval process, the Commission decided not to exercise Section 11, Subd 10(B) of the Isanti Zoning Ordinance. The aforementioned Ordinance allows the Plan Commission and the City Council *Design Standard Flexibility*. Said flexibility was intended to allow an exemption from the minimum building size required. As a result, the Plan Commission held the public hearing on the Site Plan approval process and tabled the request until the applicant could resubmit a Site Plan that was completely consistent with the City's Zoning Ordinance. This Minor Subdivision Plat is the result of the table.

Minor Subdivision Plat: Because the subject parcel has never been previously platted, the City's Subdivision Ordinance, Chapter 18, Article 3, Subd 2 (A) and (B) allow the parcel to be divided through a Minor Subdivision Plat.

The requested plat subdivides the parcel into two separate parcels. *Parcel A* is the 1.38 acre parcel that the proposed Dollar General Store will be on. *Parcel B* is the remaining 3.06 acre parcel.

Both Parcels abut Palomino Road SE, with Parcel B having TH-65 Highway Frontage. Because of the proximity to TH-65, there's limited ability to access Parcel B. As such, a 36' wide access easement is being proposed through Parcel A to allow future vehicular traffic to access Parcel B when it becomes developed.

Other Considerations: The plat will need to include a stormwater easement over the proposed stormwater detention pond east of the easternly lot line. This should be considered as part of the approval process.

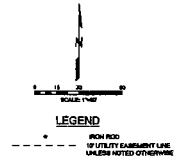
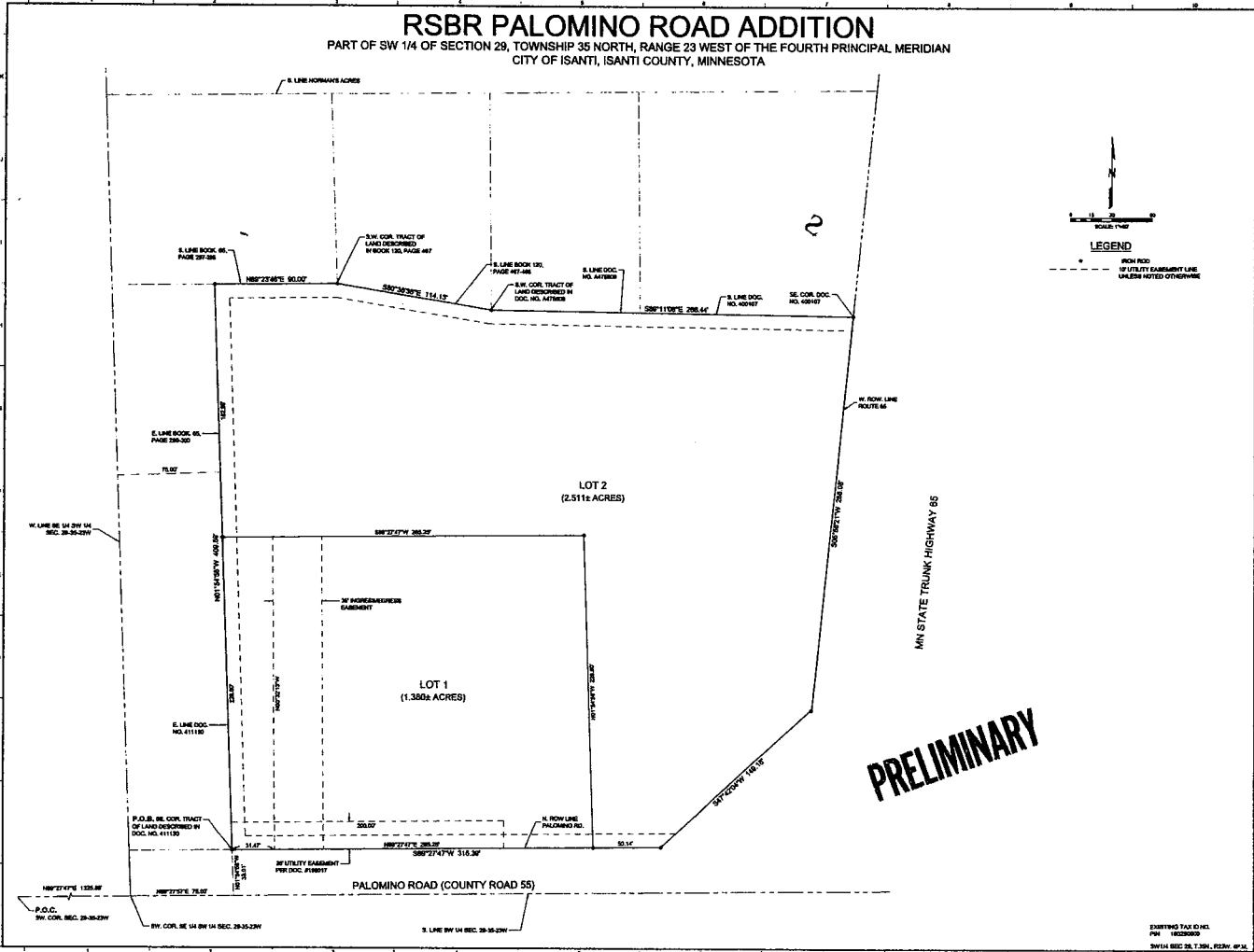
Staff Recommendation: I would recommend APPROVAL with the following conditions:

- 1) A stormwater access and maintenance easement is dedicated to Parcel A from Parcel B to allow for Parcel A's stormwater.
- 2) Final review and approval by MN-DOT.
- 3) That the applicant shall furnish the City with three full size mylar transparencies of the plat, and one 11" x 17" mylar transparency upon successful approval of the plat.
- 4) The applicant shall, upon final signatures by all authorities, record the plat within 90 days and return one of the mylars back to the City for record keeping purposes.

Exhibits:

Exhibit A: RSBR Palomino Road Addition Plat

RSBR PALOMINO ROAD ADDITION
 PART OF SW 1/4 OF SECTION 29, TOWNSHIP 35 NORTH, RANGE 23 WEST OF THE FOURTH PRINCIPAL MERIDIAN
 CITY OF ISANTI, ISANTI COUNTY, MINNESOTA



Farnsworth GROUP
 2709 HANCOCK DRIVE
 BLOOMINGTON, MN 55425
 612.835.3425 / farn@fng.com

www.fng.com
 Engineers | Architects | Surveyors | Scientists

DATE: _____
 DESCRIPTION: _____

RSBR PALOMINO ROAD ADDITION

ISANTI, MINNESOTA
 DATE: 5-8-18
 DESIGNED: PGB
 DRAWING: DJM
 REVIEWED: _____
 FIELD BOOK NO.: PED 1887PG 4

FINAL PLAT

1
 of 2

EXISTING TAX ID NO. P# 1628000
 SW 1/4 SEC 29 T. 35N. R. 23W. 4734
 PROJECT NO.: 018 0285.00 24P-028

RESOLUTION NO. 2019-XXX

A RESOLUTION APPROVING THE FINAL PLAT OF “RSBR PALOMINO ROAD ADDITION PLAT”

WHEREAS, Dollar General has made application for a Final Plat Approval for “RSBR Palomino Road Addition Plat” which is legally described as Lot 1, Block 1, RSBR Palomino Road Addition Plat, Isanti County, Minnesota; and,

WHEREAS, the subject parcel has not been previously platted or subdivided; and,

WHEREAS, the aforementioned Final Plat can be approved through the Minor Subdivision Plat approval process as outlined by §536, Article 1 of the Isanti Subdivision Ordinance; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the Final Plat on May 21, 2019; and,

WHEREAS, all required public notices regarding the public hearing were posted and sent to property owners within 350’ of the subject property; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval of the Final Plat “RSBR Palomino Road Addition Plat”; and,

WHEREAS, the City of Isanti City Council reviewed the Final Plat request at the regularly scheduled meeting on June 4, 2019.

BE IT FURTHER RESOLVED that the requested Final Plat Approval for “RSBR Palomino Road Addition Plat” be hereby approved with the following conditions:

- 1) A stormwater access and maintenance easement is dedicated to Parcel A from Parcel B to allow for Parcel A’s stormwater.
- 2) Final review and approval by MN-DOT.
- 3) That the applicant shall furnish the City with three full size mylar transparencies of the plat, and one 11” x 17” mylar transparency upon successful approval of the plat.
- 4) The applicant shall, upon final signatures by all authorities, record the plat within 90 days and return one of the mylars back to the City for record keeping purposes.

This Resolution is hereby approved by the Isanti City Council on this 4th day of June, 2019.

ATTEST:

Mayor Jeff Johnson

Katie Brooks, Human Resources/City Clerk



Ryan J. Kernosky, MPA
Municipal Consultant

ryan@municipalgroup.org
715-212-0416

MEMORANDUM

TO: City Plan Commission
FROM: Ryan Kernosky, Contract City Planner
DATE: May 21, 2019

RE: **SITE PLAN REVIEW – DOLLAR GENERAL**

Request: Request from Overland Engineering, LLC for a Site Plan Review for a proposed Dollar General on PID 160290900 (corner of TH-65 and Palomino Rd SE).

Background: City Staff has been working with Overland Engineering (applicant) for several months as they have prepared to submit a plan set for a proposed Dollar General at the above address. The subject property is zoned B-2 "General Business District" with the TH-65 Overlay Zoning District. Per Isanti Zoning Ordinance Section 11, Article 5, Subdivision 3(L) *General Retail Establishments* is a permitted use in the TH-65 Overlay Zoning District.

As you most likely recall, the Planning Commission considered this request during the March Planning Commission meeting. At that time, the Commission decided not to exercise the *Design Standard Flexibility* afforded to them in through the Zoning Code. This flexibility was intended to allow them to build a smaller building on a larger lot. The combined preliminary and final plat was considered prior to this meeting tonight.

Site Review:

Lot Requirements and Setbacks: Section 11, Subdivision 8 identifies requirements of lot size, building size, setbacks, height restrictions, and impervious surface coverage. Those reviews are provided below:

Minimum Lot Size: The minimum lot size of the TH-65 overlay zoning district is 1 acre, the proposed lot is 1.38 acres in size.

Minimum Building Size: The minimum building size for developments in the TH-65 overlay zoning district is 15 percent of the lot size:

1 acre = 43,560 sf
43,560 sf x 1.38 acres = 60,113 sf
15% of 60,113 sf = 9,017 sf building

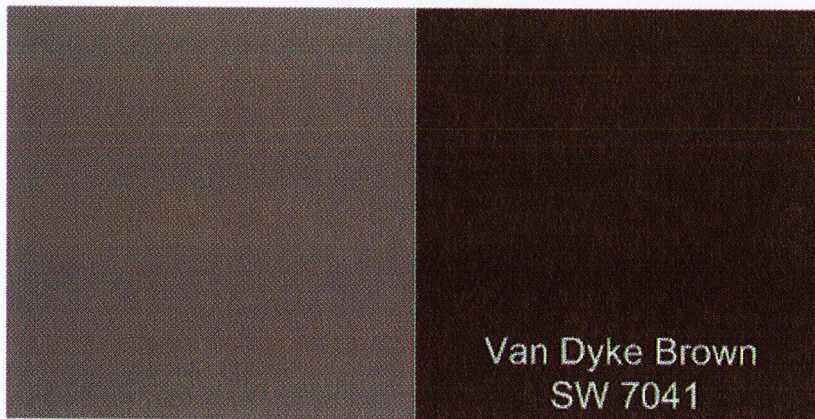
The proposed building size is ~9,100 sf, and as such meets the minimum building size identified within the zoning code.

Setbacks and Height Restrictions: The following are the minimum setbacks for the TH-65 zoning overlay district, the proposed setbacks for this development are *italicized*:

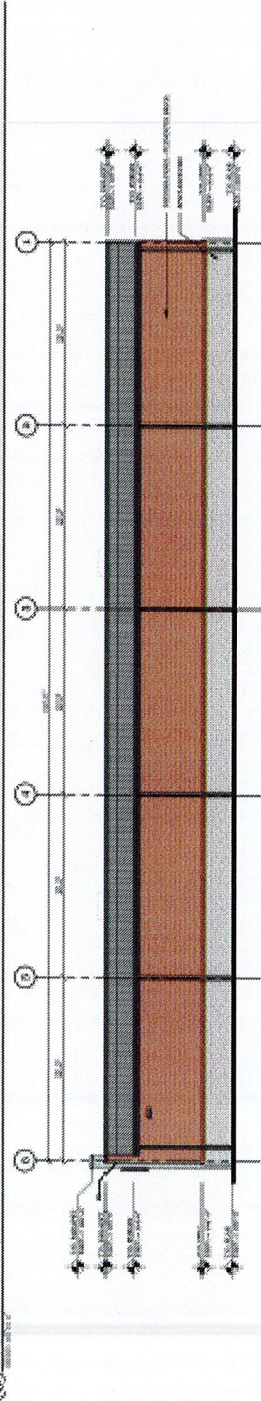
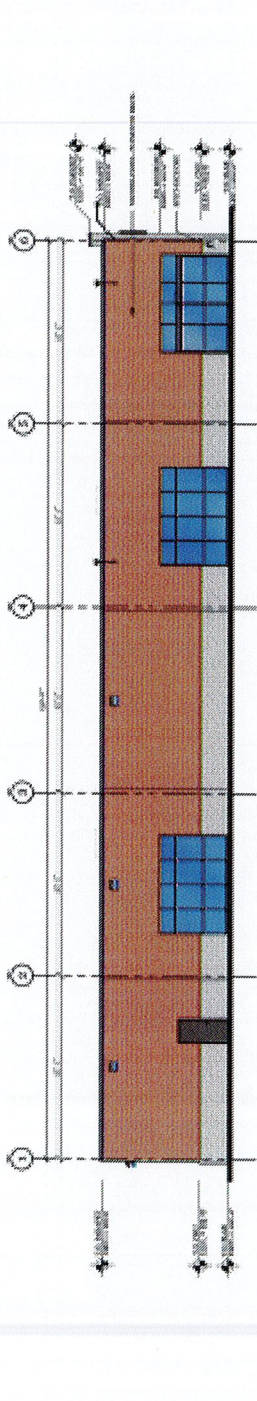
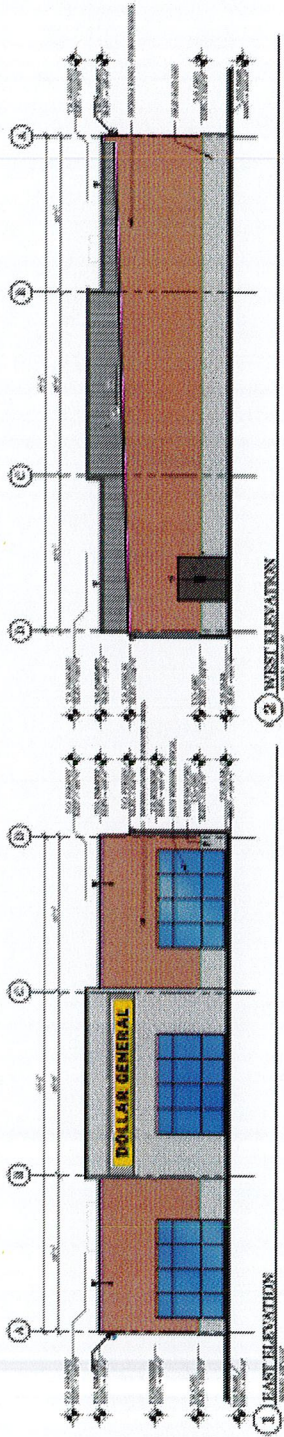
Minimum Front Yard Setback	30 ft	<i>128 ft</i>
Minimum Side Yard Setback	15 ft	<i>95/41 ft</i>
Minimum Rear Yard Setback	15 ft	<i>30 ft</i>
Maximum Building Height	3 stories/45 ft	<i>~26 ft</i>

The above setback and height restrictions are met.

Building & Sign Aesthetics: Section 11, Article 5, Subdivision 11 regulates exterior building materials permitted in the TH-65 overlay district. The proposed development is all face brick, which is permitted under Subd. 11(A)(1). The main brick is a proposed “Warm Stone” with accents of “Van Dyke Brown,” color examples are below:

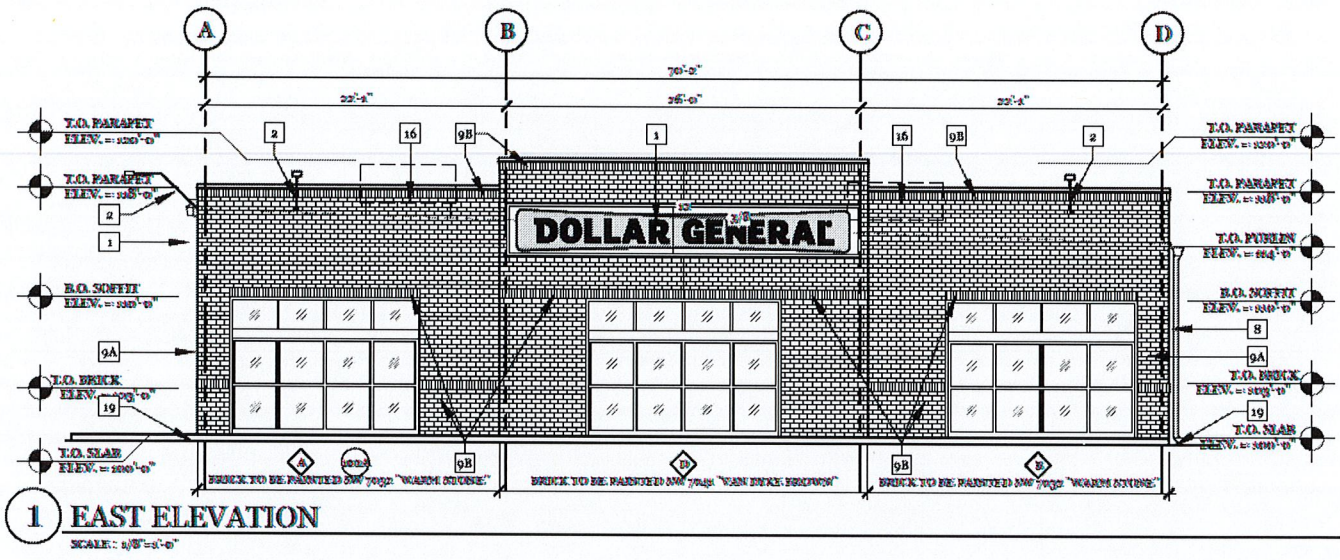


Building Orientation: Article 5, Subdivision 12 regulates the building orientation of new development within the TH-65 overlay district. Said regulation states: “*Building shall be oriented towards Highway 65 or, at a minimum, give the appearance of having a front facing Highway 65 (second front).*” The proposed development provides the appearance of having a front facing east elevation as provided below:

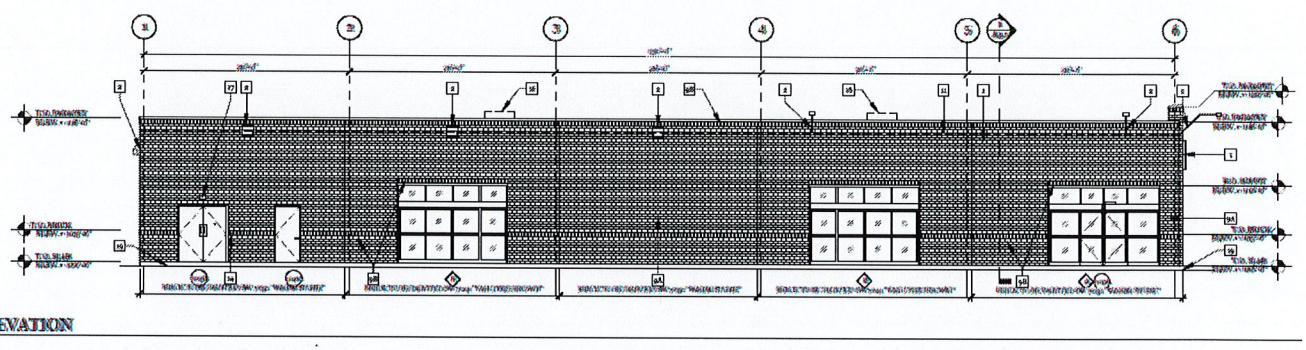


DOLLAR GENERAL

Proposed Store #20528
 Northwest Corner of State Highway 65 & Falomino Road SE
 Isanti, Minnesota 55040



The east elevation provides a real south and center window and a faux window on the northern side of the east elevation.



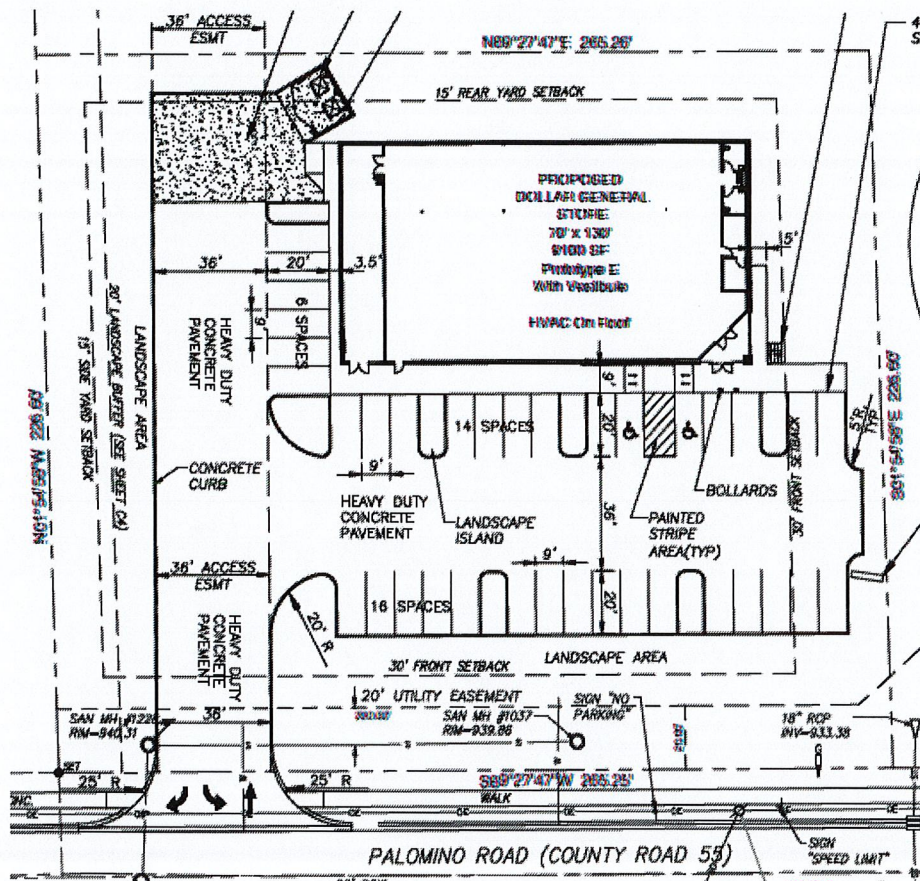
Parking and Driveways: Subdivision 13 of the TH-65 overlay zoning district regulate the parking, driveway, and driving areas of developments within this zoning district with some additional setbacks from right of way and residentially zoned districts.

Section 17 of the City Zoning Ordinance requires one stall per 250 sf of store space. This would require a minimum of 36 parking stalls with 2 handicapped parking stalls required. The proposed development has 36 parking stalls with 2 handicapped parking stalls, the vehicular parking minimum is met.

Additionally, Section 17 requires bicycle parking for all new development. Development that have between 21 and 40 total parking stalls require 2 bicycle parking spaces. The proposed development provides 2 bicycle parking spaces near the southeast entrance to the building.

The proposed parking and drive aisle areas of this development is 21,785 sf, which requires a minimum of 1,089 sf (or 5 percent) of interior parking landscaping. The proposed site has 1,600 sf of interior parking landscaping, exceeding the minimum requirements of the zoning code.

The TH-65 overlay zoning district requires a minimum 10 ft setback for parking lots from all lot lines and right of ways. The proposed parking lots are 43 ft from the Palomino Rd right of way and 40 ft from the westerly property line, exceeding the requirements of the zoning code. Additionally, the parking spaces are required to be a minimum of 20 ft from any residential zoning district – the proposed parking is 40 ft from the nearest residentially zoned parcel.

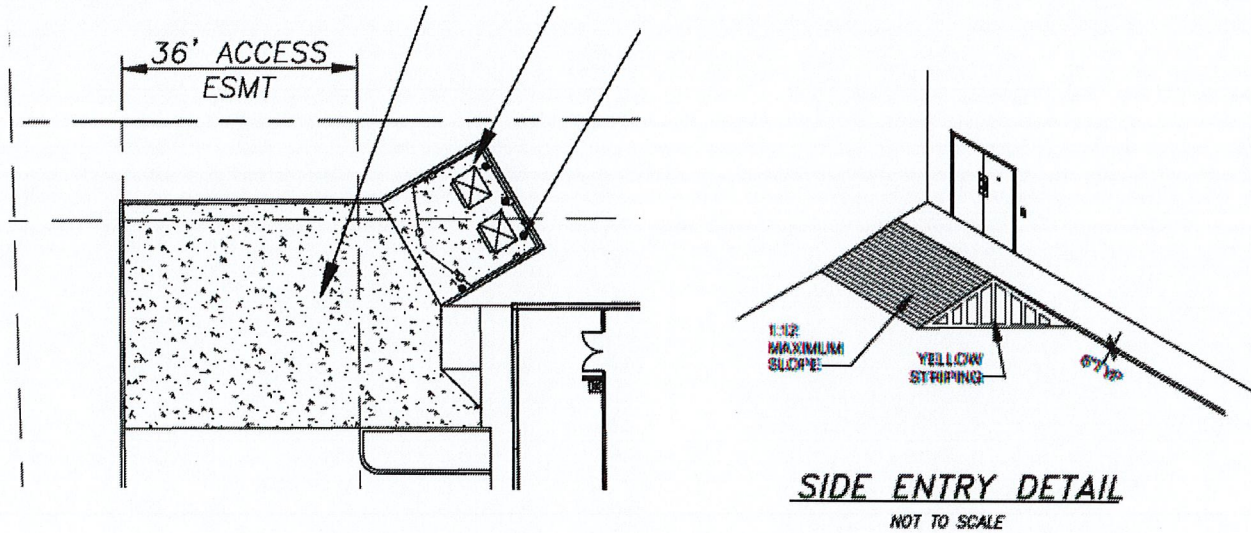


Loading spaces are regulated under Subdivision 13(C) of the TH-65 overlay zoning district. This section has three specific requirements (staff comments are *italicized*):

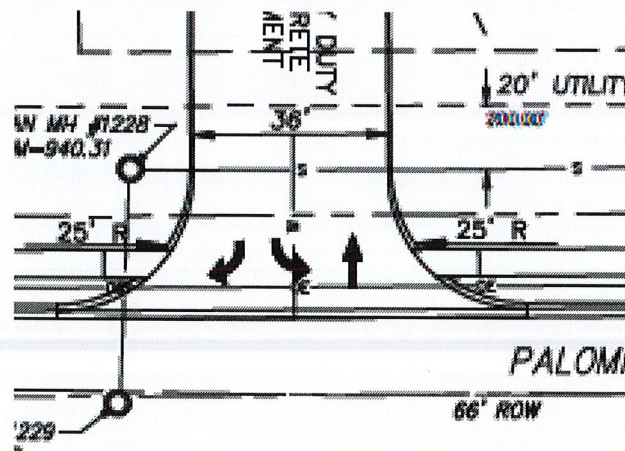
- 1) Loading spaces cannot face Highway 65 and must be located in designated rear yards. *The proposed loading space is along the west building elevation, not facing Highway 65. The issue, however, is the proposed loading dock is on the west building elevation, but the entry door to the back-storage room is on the south building elevation. A condition should be included to require the outdoor access door to be on the west building elevation.*

- 2) Loading and service areas must be separated from visitor and employee parking areas and general traffic circulation. *As described in the section above, the area identified as the 'concrete unloading pad' is on the northside of the parking area. Again, the access door for this unloading pad is far from the unloading area and should be addressed in the conditions.*

- 3) Loading spaces, overhead doors and service areas must be designed to be compatible with the principal building. Architectural techniques, color and landscaping must be employed to eliminate visual impacts from adjacent properties and roadways. *The proposed loading doorway will match the exterior accent building colors.*

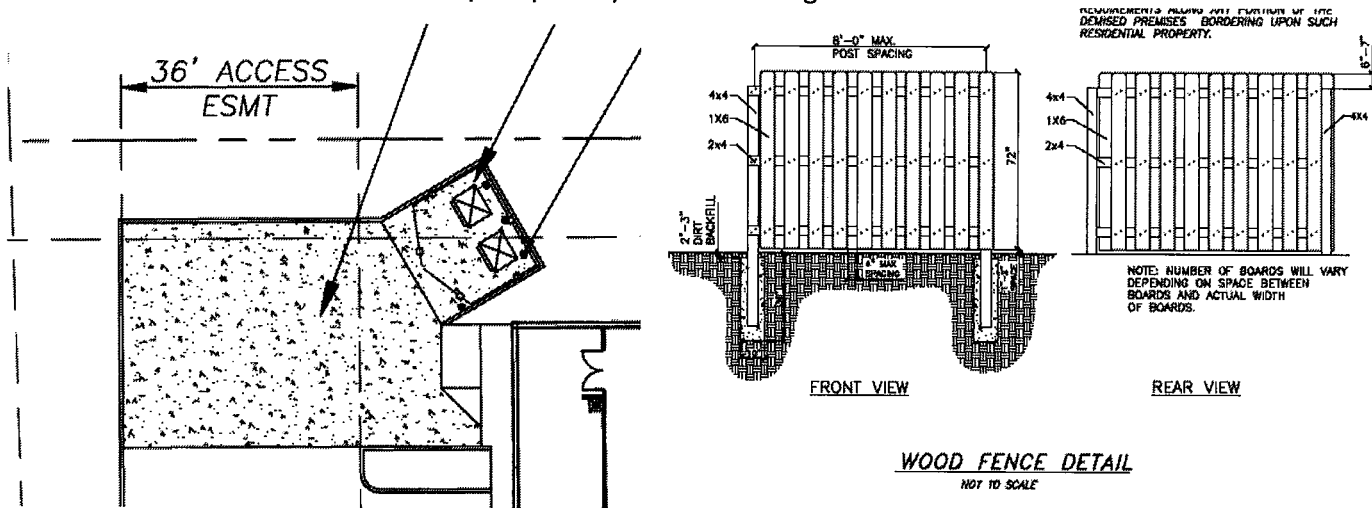


Parking Lot Entry: The proposed development will have a single-access point off of Palomino Rd. Said access is 36' in width.



Trash Enclosures: Section 14, Subd. 3 identifies regulations for Refuse and Trash Receptacle Enclosures. This section requires that the trash enclosures are screened from all lot lines and that the screening is "architecturally

harmonious with the principal structure." The proposed trash enclosure is in the northwest corner of the subject area and is screened with a treated pine privacy fence. This regulation is met.



Outdoor Lighting: Section 11, Subd. 14 regulates lighting used to illuminate off-street parking areas, signage, and buildings of developments within the TH-65 overlay zoning district. The above regulation requires that lighting shall be directed away from residential properties and meet the additional requirements of Section 14, Subd. 5 of the Zoning Ordinance. The proposed lighting plan includes six pole mounted light poles in the parking lot, with four wall mounted lights on the east and west building elevations. Per the lighting plan, no lighting will spill onto the adjacent residential properties.

Landscaping: Landscaping for this parcel is regulated within Sections 14 and 15 of the zoning code. The submitted site plan does not identify specific landscaping trees. As such, a condition of a landscaping plan to be submitted that is in compliance with the City's requirements must be provided for staff review and approval prior to issuance of building permits. Additionally, given the proximity to the residential property to the west, additional landscaping screen should be required to minimize the impacts on the adjacent property. Finally, all areas disturbed by the construction of the development must be sodded prior to issuance of a building permit.

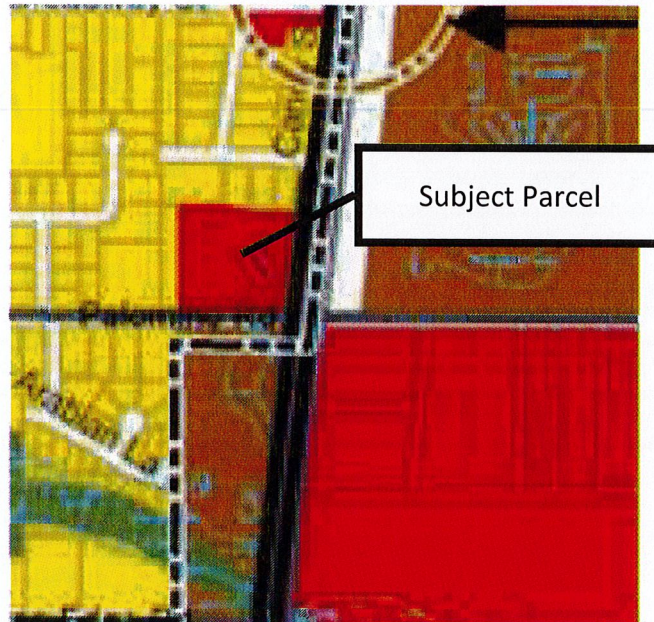
Stormwater Management: The City Engineer has reviewed the proposed plan and has recommended approval with several conditions outlined in his review, identified under "Exhibit A" of the attached sheet.

Section 18: Site Plan Review Standards

Section 18, Subd. 7 of the Zoning Ordinance specifically regulates Site Plan Review Standards. Those standards are discussed below with staff comments to each section *italicized*:

- A. Consistency with the elements and objectives of the City's development guides, including the comprehensive plan.

The proposed development meets or exceeds the development guides of the TH-65 overlay district and the B-2 "General Commercial" Zoning District. The City's 2008 Comprehensive Plan update identifies this parcel for "General Commercial" development as identified below:



The standards of this subsection are met.

B. Consistency with City Codes.

As identified throughout this staff report, the proposed development meets or exceeds City Codes and Ordinances. Areas that may not meet City Codes and Ordinances are addressed under conditions of approval. The standards of this condition are met.

C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.

The majority of development will occur in the southern half of the subject parcel. A small stand of trees is along the western lot line of the parcel and are retained through the development. This standard is met.

D. The amount and location of open space and landscaping.

Plenty of open space is retained on the north half of the parcel. A landscaping plan has been submitted but is not considered complete given the lack of identified species of plants and trees. Additionally, the interior parking lot landscaping is exceeding the five percent minimum required. Given a complete landscaping plan is submitted to the City as conditioned in the approval, this standard is met.

- E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Vehicular and bicycle parking minimums are met per zoning ordinance. Existing pedestrian facilities are along the north side of Palomino Road and are proposed to be installed near the proposed building. This standard is met.

- F. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Lighting will not spill onto adjacent properties; a condition of approval will be to install landscaping along the west property line to provide a buffer to the closest neighbors. The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

- G. Consistency with the City's Engineering Design standards as adopted by Resolution of the City Council.

The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

Other Considerations: *General Retail* is a permitted use in this zoning district. It's important that the Plan Commission and City Council only consider the site plan, and not the use.

Notice of Public Hearing: Property owners within 350' of the subject parcel were notified of the public hearing via USPS. Additionally, notice was published in the *Isanti County News* and posted at City Hall and the Post Office.

Decision Timeline: Per MN State Statutes, the City Council must act upon this request within 60 days of receipt. The City received a complete application on February 6, 2019, the City Council must act upon this request by April 7, 2019.

City Staff Recommendation: I recommend **APPROVAL** with the following conditions:

- 1) Address all conditions of the City Engineers review dated March 8, 2019
- 2) Submit a formal landscaping plan that identifies specific species permitted by Isanti Zoning Code
 - a. Provide additional landscape screening along the west property line to minimize development impacts on the surrounding neighborhood
- 3) Move loading dock entry from the south building elevation to the west building elevation
- 4) Sign permits are applied for and granted consistent with the City's Sign Code

Exhibit Schedule

- Exhibit A: City Engineer Review Memo & Attachments dated March 8, 2019
- Exhibit B: Resolution No. 2019-XXX
- Exhibit C: Findings of Fact & Conclusion
- Exhibit D: Existing Conditions
- Exhibit E: Site Plan
- Exhibit F: Grading Plan
- Exhibit G: Erosion Control Plan
- Exhibit H: Landscaping Plan
- Exhibit I: Utility Plan
- Exhibit J: Lighting Plan
- Exhibit K: Building Plan
- Exhibit L: Exterior Building Elevations
- Exhibit M: Proposed Signage

EXHIBIT 1
LEGAL DESCRIPTION OF PROPERTY

LEGAL DESCRIPTION AS PROVIDED

THAT PART OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER, SECTION 29, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER, SECTION 29, TOWNSHIP 35, RANGE 23, THENCE EAST FOLLOWING THE SOUTH SECTION LINE TO THE WESTERLY BOUNDARY OF TRUNK HIGHWAY #65, AS NOW LOCATED AND ESTABLISHED IN SAID TOWNSHIP AND RANGE; THENCE NORTH FOLLOWING THE WESTERLY BOUNDARY OF SAID TRUNK HIGHWAY #65 TO THE SOUTH 1/16TH LINE, THENCE WEST FOLLOWING THE SOUTH 1/16TH LINE OF SAID SECTION, TOWNSHIP AND RANGE, TO A POINT ON THE SOUTH 1/16TH LINE 235 FEET EAST OF THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE SOUTHERLY 165 FEET 3 AND 11/16 INCHES, PARALLEL TO THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE 235 FEET WESTERLY TO WEST LINE AND PARALLEL TO NORTH LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER, THENCE SOUTH FOLLOWING THE WEST 1/16TH LINE TO THE SOUTH SECTION LINE TO THE POINT OF BEGINNING AND THERE TO TERMINATE, EXCEPTING THEREFROM THAT PART THEREOF PLATTED AS NORMAN'S ACRES, AND FURTHER EXCEPTING THEREFROM THOSE CERTAIN PARCELS OF LAND CONVEYED BY WARRANTY DEED DATED JUNE 28, 1960, FILED JULY 27, 1960, AND RECORDED IN BOOK "48" A DEEDS, PAGE 391, IN THE OFFICE OF THE REGISTER OF DEEDS IN ISANTI COUNTY, MINNESOTA, AND BY WARRANTY DEED DATED SEPTEMBER 27, 1967, FILED SEPTEMBER 29, 1967, AND RECORDED IN BOOK "65" OF DEEDS, PAGE 297-8 IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA; AND BY WARRANTY DEED DATED SEPTEMBER 27, 1967, FILED SEPTEMBER 29, 1967, RECORDED IN BOOK "65" OF DEEDS, PAGE 299-300, IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA; AND BY WARRANTY DEED DATED JUNE 7, 1984, FILED JUNE 7, 1984, RECORDED IN BOOK "120" OF DEEDS, PAGE 467, IN THE OFFICE OF THE REGISTER OF DEEDS, ISANTI COUNTY, MINNESOTA.

ALSO EXCEPTING:

THAT PART OF THE SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE RECORDED PLAT OF NORMAN'S ACRES (SAID CORNER IS ON THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SAID SECTION 29), THENCE EAST ALONG THE SOUTH LINE OF SAID NORMAN'S ACRES, A DISTANCE OF 280.55 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE HEREIN DESCRIBED; THENCE CONTINUING EAST, ALONG SAID SOUTH LINE OF NORMAN'S ACRES, A DISTANCE OF 110 FEET, THENCE SOUTH, DEFLECTING TO THE RIGHT 90 DEGREES 00 MINUTES, A DISTANCE OF 160 FEET; THENCE WESTERLY, DEFLECTING TO THE RIGHT, 91 DEGREES 25 MINUTES 15 SECONDS, A DISTANCE OF 110.03 FEET; THENCE NORTH, DEFLECTING TO THE RIGHT, 88 DEGREES 34 MINUTES 45 SECONDS, A DISTANCE OF 157.27 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING:

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 35, RANGE 23, ISANTI COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE RECORDED PLAT OF NORMAN'S ACRES, ISANTI COUNTY, MINNESOTA (SAID CORNER IS ON THE WEST LINE OF SAID SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 29); THENCE EAST, ALONG THE SOUTH LINE OF SAID NORMAN'S ACRES, A DISTANCE OF 390.55 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE HEREIN DESCRIBED; THENCE SOUTH, DEFLECTING TO THE RIGHT 90 DEGREES 00 MINUTES, A DISTANCE OF 160 FEET; THENCE EASTERLY, DEFLECTING TO THE LEFT 88 DEGREES 34 MINUTES 45 SECONDS, A DISTANCE OF 155.89 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TRUNK HIGHWAY NO. 65; THENCE NORTHERLY, ALONG SAID WESTERLY HIGHWAY RIGHT-OF-WAY LINE, A DISTANCE OF 165 FEET TO THE SOUTH LINE OF THE RECORDED PLAT OF NORMAN'S ACRES; THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 175 FEET TO THE POINT OF BEGINNING.

EXHIBIT 2
FINDINGS OF FACT AND CONCLUSION

FINDINGS OF FACT AND CONCLUSION

Site Plan/Building Appearance – Dollar General

March 19, 2019

Prepared by Contract City Planner Ryan Kernosky

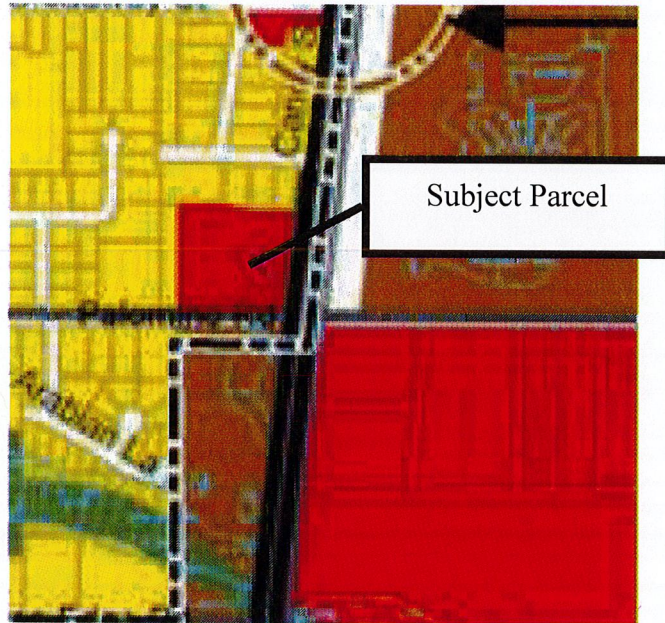
Request

Overland Engineering, LLC on behalf of Dollar General has submitted a complete request and has paid all applicable fees for a Site Plan/Building Appearance to construct a Dollar General on the parcel legally described in Exhibit 1.

Findings of Fact

1. The applicant has made application and paid all applicable fees for Site Plan/Building Appearance for a proposed Dollar General.
2. The property is legally described in Exhibit 1, attached hereto, but it more commonly referred to as PID 16.029.0900.
3. The property is zoned “B-2” General Business District and is subject to additional restrictions of the “TH-65” Trunk Highway 65 Overlay Zoning District.
4. Said development is considered a *General Retail Establishment* of which is a permitted use in both the “B-2” and “TH-65” Zoning Districts.
5. Consistent with Section 18, Subd. 6(C) of the Isanti Zoning Ordinance, a public hearing was held on March 19, 2019 before the Isanti Planning Commission. All property owners within 350’ of the subject parcel were notified of said public hearing, and proper postings in the *Isanti County News*, City Hall, and Isanti Post Office occurred.
6. The applicant submitted the application for Site Plan/Building Appearance on February 6, 2019.
7. Section 18, Subd. 7 of the Zoning Ordinance specifically regulates Site Plan Review Standards. Those standards are discussed below with staff comments to each section *italicized*:
 - A. Consistency with the elements and objectives of the City's development guides, including the comprehensive plan.
The proposed development meets or exceeds the development guides of the TH-65 overlay district and the B-2 “General Commercial” Zoning District. The City’s 2008 Comprehensive Plan update identifies this parcel for “General Commercial” development as identified below:

**EXHIBIT 2
FINDINGS OF FACT AND CONCLUSION**



The standards of this subsection are met.

B. Consistency with City Codes.

As identified throughout this staff report, the proposed development meets or exceeds City Codes and Ordinances. Areas that may not meet City Codes and Ordinances are addressed under conditions of approval. The standards of this condition are met.

C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.

The majority of development will occur in the southern half of the subject parcel. A small stand of trees is along the western lot line of the parcel and are retained through the development. This standard is met.

D. The amount and location of open space and landscaping.

Plenty of open space is retained on the north half of the parcel. A landscaping plan has been submitted but is not considered complete given the lack of identified species of plants and trees. Additionally, the interior parking lot landscaping is exceeding the five percent minimum required. Given a complete landscaping plan is submitted to the City as conditioned in the approval, this standard is met.

EXHIBIT 2
FINDINGS OF FACT AND CONCLUSION

- E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Vehicular and bicycle parking minimums are met per zoning ordinance. Existing pedestrian facilities are along the north side of Palomino Road and are proposed to be installed near the proposed building. This standard is met.

- F. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Lighting will not spill onto adjacent properties; a condition of approval will be to install landscaping along the west property line to provide a buffer to the closest neighbors. The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

- G. Consistency with the City's Engineering Design standards as adopted by Resolution of the City Council.

The City Engineer has reviewed the proposed stormwater plan and has recommended approval with conditions stipulated in Exhibit A. Given the conditions imposed are provided, this standard is met.

Conclusions

1. The development of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the "B-2" General Business District and "TH-65" Trunk Highway Overlay Zoning District.
2. The development of the property would appear to meet the building design and aesthetic standards outlined in the "B-2" General Business District and "TH-65" Trunk Highway Overlay Zoning District.

Decision

The Planning Commission held a public hearing on the item at the March 19, 2019 regularly scheduled meeting. It was the recommendation of the City of Isanti Planning Commission to approve the Site Plan/Building Appearance with the conditions enclosed within the Resolution. The meeting minutes, staff memo and exhibits will be made part of the Findings of Facts and Conclusions.

RESOLUTION NO. 2019-XXX

A RESOLUTION APPROVING THE SITE PLAN/BUILDING APPEARANCE FOR A DOLLAR GENERAL ON PID 16.029.0900

WHEREAS, Overland Engineering, LLC, on behalf of Dollar General (applicant) is requesting a Site Plan/Building Appearance approval for the construction of a Dollar General; and,

WHEREAS, such request is located on the parcel legally described in “Exhibit 1” attached hereto (subject parcel); and,

WHEREAS, the subject parcel is located in the “B-2” General Business District and is subject to the additional requirements of the “TH-65” Trunk Highway 65 Overlay Zoning District, in both of the Zoning Districts *General Retail Establishments* are a permitted use; and,

WHEREAS, under Isanti Zoning Code Section 18, Subd. 2(A) the construction of a new building is required to obtain approval of the Site Plan/Building Appearance; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the proposed Site Plan/Building Appearance on March 19, 2019; and,

WHEREAS, property owners within 350’ of the subject parcel were notified of said public hearing as required by Isanti Zoning Code. Additionally, proper notification of said public hearing was published in the *Isanti County News* and posted at City Hall and the Isanti Post Office; and,

WHEREAS, the City of Isanti Planning Commission recommended approval of the Site Plan/Building Appearance on May 21, 2019; and,

WHEREAS, the City of Isanti City Council reviewed the requested Site Plan/Building Appearance at its regularly scheduled meeting on June 4, 2019.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA, that it adopts the Findings of Fact and Conclusion related to the requested Site Plan/Building Appearance, attached as “Exhibit 2” hereto.

BE IT FURTHER RESOLVED that the requested Site Plan/Building Appearance be hereby **APPROVED** subject to the following conditions:

- 1) Address all conditions of the City Engineers review dated March 8, 2019 (Exhibit 3)
- 2) Submit a formal landscaping plan that identifies specific species permitted by Isanti Zoning Code
 - a. Provide additional landscape screening along the west property line to minimize development impacts on the surrounding neighborhood
- 3) Move loading dock entry from the south building elevation to the west building elevation
- 4) Sign permits are applied for and granted consistent with the City’s Sign Code

This Resolution is hereby approved by the Isanti City Council this 4th day of June, 2019

ATTEST:

Mayor Jeff Johnson

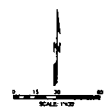
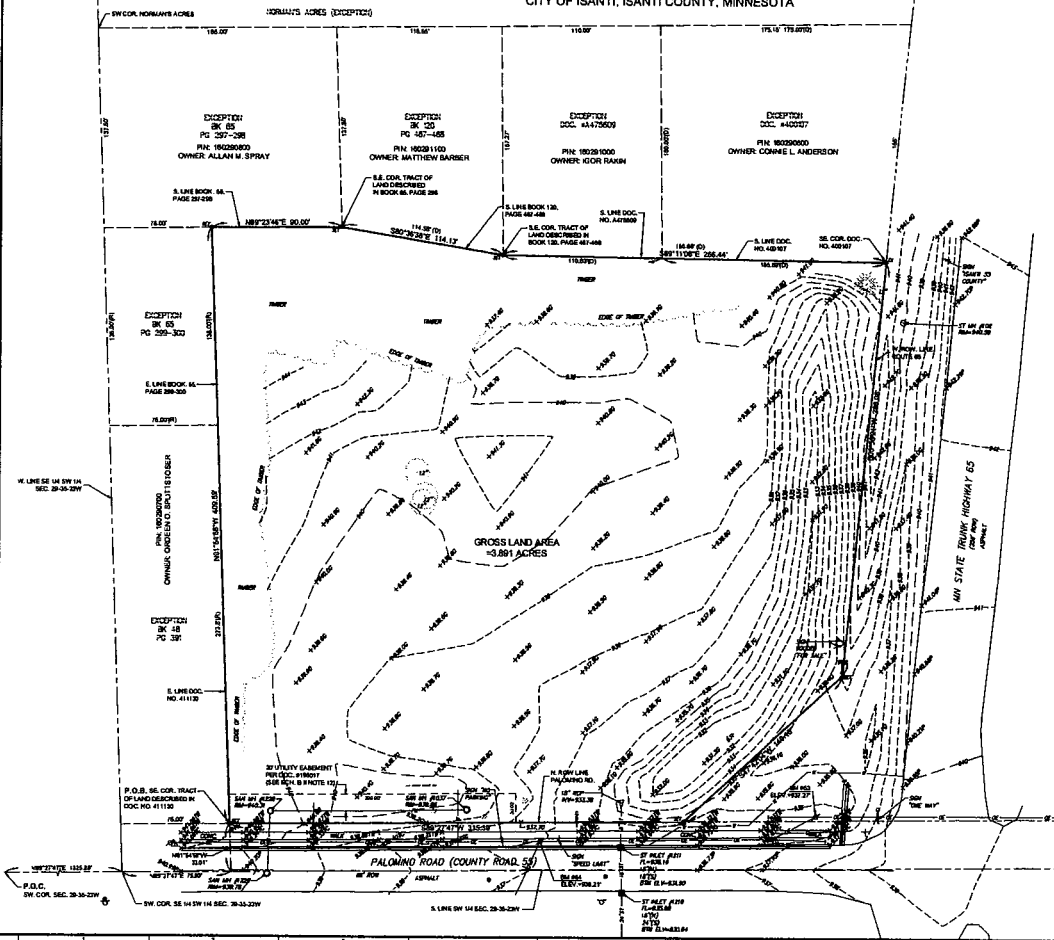
Katie Brooks
City Clerk/Human Resources

The City Engineer has reviewed the proposed plat and has recommended approval with the following conditions:

ALTANSPS LAND TITLE SURVEY

PART OF SW 1/4 OF SECTION 29, TOWNSHIP 35 NORTH, RANGE 23 WEST OF THE FOURTH PRINCIPAL MERIDIAN
CITY OF ISANTI, ISANTI COUNTY, MINNESOTA

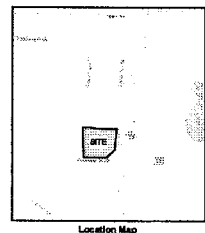
Exhibit D: Existing Conditions



LEGEND

- SETBACK MONUMENT
- SET MONUMENT
- RCH ROD
- RCH PIPE
- ROUTE OF WAY MARKER POST
- UTILITY POLE
- UTILITY POLE WITH TRANSFORMER
- SIGN
- WATER VALVE
- FIRE HYDRANT
- STORM MANHOLE
- STORM INLET
- FLARED END SECTION
- SANITARY MANHOLE
- GAS MANHOLE POST
- TREE STUMP
- DECIDUOUS TREE
- OVERHEAD ELECTRIC LINE
- STORM SEWER WITH GUE
- GROUND CONTOUR WITH ELEVATION
- GRID DATUM POINT
- RECORD DRAINAGE

- REMARKS:**
- BM 162 800 H.A. IN POWER POLE ALONG N ROW LINE PALOMINO ROAD 55 EAST OF SE CORNER OF PROPERTY ELEV=1097.27
 - BM 164 800 H.A. IN POWER POLE ALONG N ROW LINE OF PALOMINO RD. NEAR CENTER OF SITE ELEV=1093.11



Location Map
PIN 8-10-16



Farnsworth GROUP

2709 HAGGAW DRIVE
BROOMINGTON, ILLINOIS 61814
1000.663.8121 / farnsworth.com

Engineer: Andrew S. Sponberg, Sponberg
DATE: 11-20-16

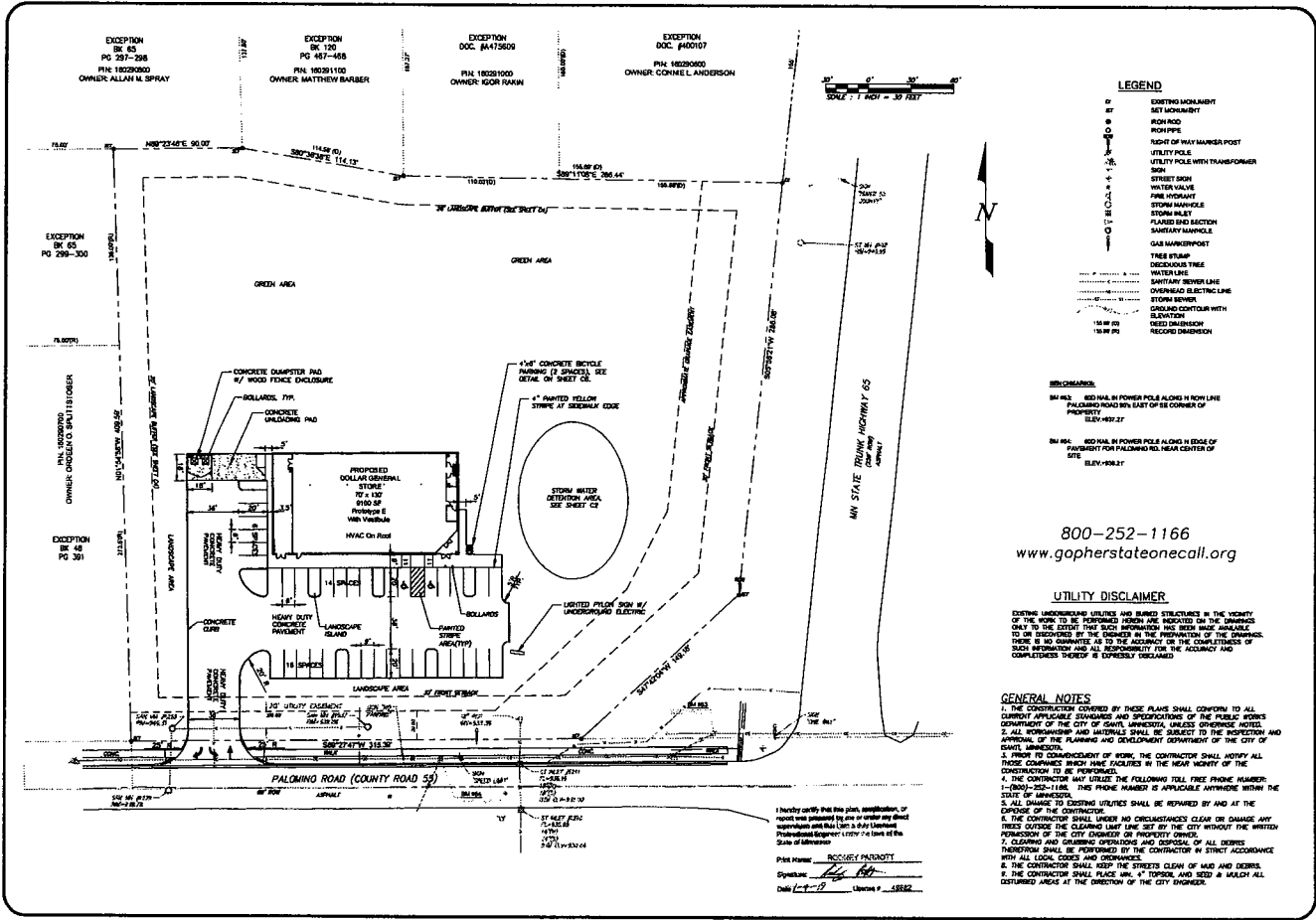
NO.	DATE	DESCRIPTION

UNIT: DOLLAR GENERAL

ISANTI, MINNESOTA 55040
DATE: 11-20-16
DESIGNED: PER
DRAWN: GLS
REVIEWED: THE
FIELD BOOK NO.: PED 1869PG 4

ALTA/NSPS
LAND TITLE SURVEY

EXISTING TAX ID NO.
PIN 1802800
SYN4 SEC 29, T35N, R23W, 4P4
PROJECT NO.: 0161290.00
24P-508



DOLLAR GENERAL

overland
ENGINEERING, L.L.C.

1500 W. WASHINGTON AVE. SUITE 100
ST. LOUIS, MISSOURI 63103-3000
TEL: 314.241.1000 FAX: 314.241.1001

DOLLAR GENERAL
SANTIL, MINNESOTA
SITE PLAN

SHEET
C1

800-252-1166
www.gopherstateonecall.org

UTILITY DISCLAIMER
EXISTING UNDERGROUND UTILITIES AND BURIED STRUCTURES IN THE VICINITY OF THE WORK TO BE PERFORMED HEREIN ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO US BY RECORDS OR BY THE PROPERTY OWNER. THERE IS NO GUARANTEE AS TO THE ACCURACY OR THE COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.

GENERAL NOTES

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT APPLICABLE ORDINANCES AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF SAINT LOUIS, MISSOURI, UNLESS OTHERWISE NOTED.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL OF THE PLANNING AND DEVELOPMENT DEPARTMENT OF THE CITY OF SAINT LOUIS.
3. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
4. THE CONTRACTOR MAY UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER: 1-800-252-1166. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI.
5. ALL DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL UNDER NO CIRCUMSTANCES CLEAR OR DAMAGE ANY TREES OUTSIDE THE CLEARING LIMIT LINE SET BY THE CITY WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER OR PROPERTY OWNER.
7. CLEANING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
8. THE CONTRACTOR SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
9. THE CONTRACTOR SHALL PLACE AND 4" TOPSOIL AND SEED A MULCH ALL DISTURBED AREAS AT THE DIRECTION OF THE CITY ENGINEER.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer (PE) in the State of Missouri.

Print Name: **ROBERT H. HANCOCK**
Signature: *[Signature]*
Date: **1-1-12** License #: **58862**

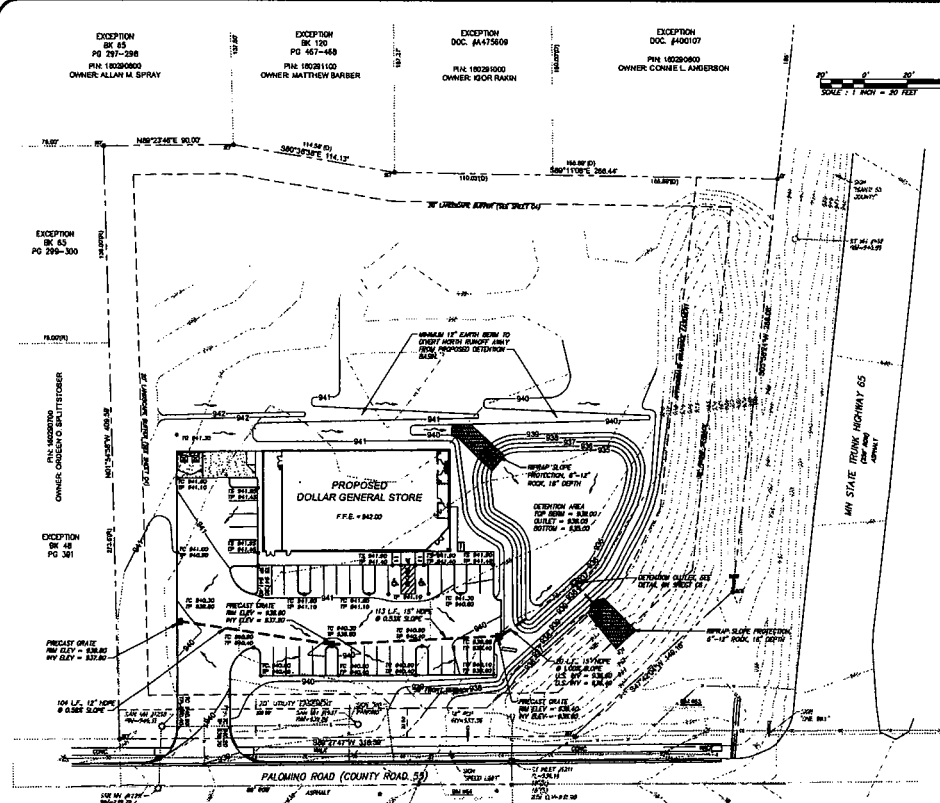
EXCEPTION BK 45 PG 297-298
OWNER: ALLAN M SPRAY

EXCEPTION BK 120 PG 447-448
OWNER: MATTHEW BARBER

EXCEPTION DOC. #A475609
OWNER: ROR RAKIN

EXCEPTION DOC. #A40107
OWNER: CORNELL ANDERSON

SCALE: 1" = 20 FEET



LEGEND

EXISTING ELEVATION	10
SETBACK	11
ROAD	12
ROAD PPE	13
RIGHT OF WAY MARKER POST	14
UTILITY POLE	15
UTILITY POLE WITH TRANSFORMER BOX	16
STREET SIGN	17
WATER VALVE	18
STORM MANHOLE	19
STORM INLET	20
FLALED 800 MESH	21
EMERGENCY MANHOLE	22
GAS MANHOLE	23
TREE TRUMP	24
DISCOURAGE TREE	25
WATER LINE	26
SEWER LINE	27
OVERHEAD ELECTRIC LINE	28
STORM SEWER	29
GROUND CONTOUR WITH ELEVATION	30
100 YEAR FLOOD	31
500 YEAR FLOOD	32

UTILITY DISCLAIMER

EXISTING UNDERGROUND UTILITIES AND BUILT STRUCTURES IN THE VICINITY OF THE WORK TO BE PERFORMED WERE NOT SHOWN ON THE DRAWINGS. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS BEEN MADE AVAILABLE TO THE EXISTING OWNER FOR THE PURPOSE OF IDENTIFYING SUCH UTILITIES AND STRUCTURES. THE ENGINEER HAS BEEN ADVISED BY THE EXISTING OWNER THAT SUCH UTILITIES AND STRUCTURES ARE SHOWN ON THE DRAWINGS. THE ENGINEER HAS BEEN ADVISED BY THE EXISTING OWNER THAT SUCH UTILITIES AND STRUCTURES ARE SHOWN ON THE DRAWINGS. THE ENGINEER HAS BEEN ADVISED BY THE EXISTING OWNER THAT SUCH UTILITIES AND STRUCTURES ARE SHOWN ON THE DRAWINGS.

800-252-1166
www.gopherstateonecall.org

RECORDATION

BY ME: 800 HALL IN POWER POLE ALONG HIGHWAY 65 PALOMINO RD. NEAR EAST OF CORNER OF PROPERTY. ELEV. +93.27'

BY ME: 800 HALL IN POWER POLE ALONG HIGHWAY 65 PALOMINO RD. NEAR CENTER OF SITE. ELEV. +93.21'

SITE PLAN GENERAL NOTES:

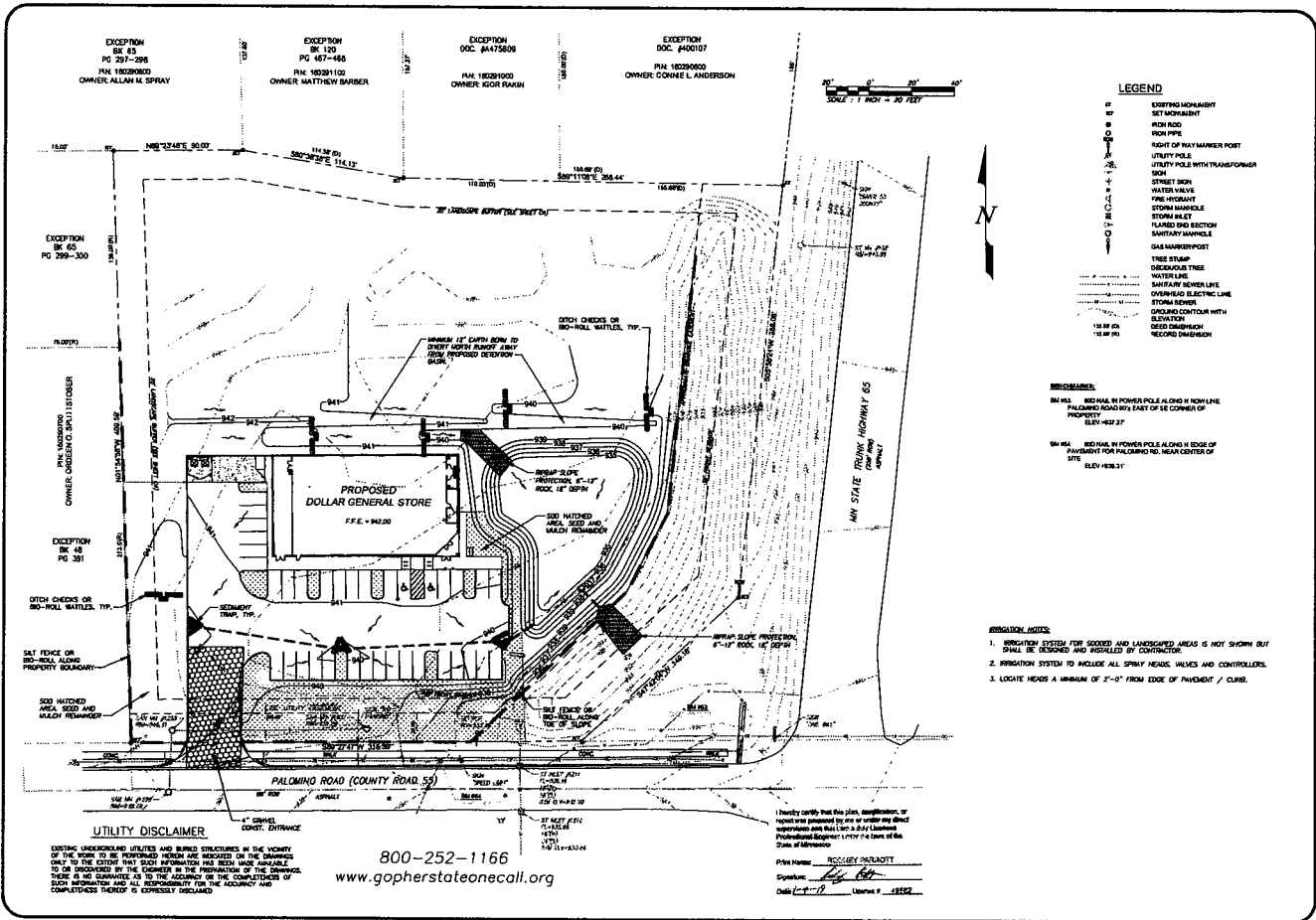
- STANDARD PARKING SPACES SHALL HAVE MINIMUM SIZE OF 8' X 20' UNLESS LOCAL ORDINANCES REQUIRE OTHERWISE. MINIMUM SIZE OF ALL PARKING SPACES AND ACCESS AISLES ARE SHOWN ON DRAWING.
- PAVING STANDARD PARKING SPACES AND ISLAND STRIPES SHALL BE YELLOW FOR ASPHALT PAVEMENT AND CONCRETE PAVEMENT. COLOR FOR PAINTED I.C. ACCESSIBLE PARKING SPACES, STRIPES, ACCESS AISLES, PLANK STRIPS, I.C. STRIPES, SHALL BE MARKED WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. BOLLARDS SHALL BE PAINTED YELLOW. PAINT SHALL BE REFLECTIVE TYPE.
- PAINTED FIRE LANE STRIPING OR PAINTED CURBS SHALL BE PROVIDED AS REQUIRED BY APPLICABLE REGULATIONS.
- CONCRETE CURBING STOPS SHALL BE USED AT PARKING SPACES ALONG THE OUTER PERIMETER OF PARKING LOT WHEN CONCRETE CURBS ARE NOT USED.
- CONCRETE PARKING STOPS SHALL NOT BE USED AT THE FRONT OF THE BUILDING OR ALONG THE FRONTAGE (GARAGE) TO THE BUILDING.
- THE SIDEWALK AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 8'-FEET WIDE. THE SIDEWALK SHALL INCLUDE A 10'-FOOT MINIMUM WIDE ADA ACCESSIBLE RAMP CLOSE TO THE STORE MAIN ENTRANCE. SIDEWALKS ALONG OTHER SIDES OF BUILDING SHALL HAVE MINIMUM 4'-FEET WIDE SIDEWALKS ADJACENT TO BUILDING. SIDEWALKS SHALL BE PAINTED YELLOW. CURBS SHALL BE 4" HIGH ABOVE EXISTING OR PAVED FLOOR FINISH GRADE. ALL EXTERIOR SIDEWALKS SHALL HAVE A BRUSH FINISH.
- PORTLAND CEMENT SIDEWALKS SHALL BE MINIMUM 4" THICK WITH WELDED WIRE FABRIC REINFORCING.
- SIDEWALKS ADJACENT TO THE BUILDING MUST HAVE A 4" HIGH INTERIOR CURB.
- SLOPE CONCRETE SIDEWALKS AWAY FROM BUILDING AT A MINIMUM SLOPE OF 1/8" PER FOOT, INCLUDING RECESSED DRIVE.
- THE ACTUAL LOCATION FOR THE PLYER SIGN SHALL BE SITUATED FOR OPTIMUM VISIBILITY ALONG THE MAIN ROAD TRAFFIC CORSE.
- BUILDING CORNER ADJACENT TO PAVED AREAS SHALL BE BOLLARD PROTECTED. ABOVE GROUND UTILITY APPROPRIATELY LOCATED NEARBY. DISCONNECTORS, FIRE HYDRANTS OR PAVED AREAS, ETC. SHALL BE BOLLARD PROTECTED.
- DISCONNECTORS SHALL NOT BE ALLOWED TO DISCONNECT ON CONCRETE SIDEWALKS. ROUTE DISCONNECTS SHALL BE BOLLARD PROTECTED AT ALL SIDEWALK LOCATIONS.
- ALL CONCRETE DISCONNECTORS OVER NON PAVED AREAS ARE TO HAVE A MINIMUM 4" THICK REINFORCED CONCRETE PAVEMENT STRIPPED TO A MINIMUM 12" WIDE X 24" CONCRETE SPLASH BLOCK.
- FRESH FLOOR TO BE A MINIMUM OF 12 INCHES ABOVE 100 YEAR FLOOD PLANK.
- FRESH FLOOR AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FRESH FLOOR AT ALL NON-PAVED AREAS.

DOLLAR GENERAL

Overland ENGINEERING, LLC
1000 W. WASHINGTON ST. SUITE 200
ST. LOUIS, MO 63101

DOLLAR GENERAL
ISANTI, MINNESOTA
GRADING PLAN

SHEET
C2



DOLLAR GENERAL

Overland ENGINEERS, L.P.
 1001 W. 13th St., Suite 200, Fargo, ND 58103
 Phone: (701) 785-1111 Fax: (701) 785-1112

DOLLAR GENERAL
 ISANTI, MINNESOTA
 SEDIMENT & EROSION CONTROL PLAN

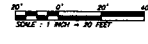
SHEET **C3**

EXCEPTION BK 43 PG 297-298
 PIN 18028000
 OWNER: ALLAN H. SPRAY

EXCEPTION BK 100 PG 457-465
 PIN 18028100
 OWNER: MATTHEW BARBER

EXCEPTION DOC. 84475008
 PIN 18028100
 OWNER: IGOR RAVIN

EXCEPTION DOC. 84001017
 PIN 18028000
 OWNER: CONNIE L. ANDERSON



- LEGEND**
- EXISTING MONUMENT
 - SET MONUMENT
 - IRON ROD
 - IRON PIPE
 - RIGHT OF WAY MARKER POST
 - UTILITY POLE WITH TRANSFORMER
 - SIGN
 - STREET SIGN
 - WATER VALVE
 - FIRE HYDRANT
 - STORM MANHOLE
 - STORM INLET
 - FLARED END SECTION
 - SANITARY MANHOLE
 - GAS METER/POST
 - TREE STRIP
 - OBSCUROUS TREE
 - WATER LINE
 - SANITARY SEWER LINE
 - OVERHEAD ELECTRIC LINE
 - STORM SEWER
 - GROUND CONTOUR WITH ELEVATION
 - DEED DIMENSION
 - RECORD DIMENSION

REMARKS:

SM 164: 80' HALL IN POWER POLE ALONG N EDGE OF PALMING ROAD 80' EAST OF SE CORNER OF PROPERTY
 ELEV: 482.27'

SM 164: 80' HALL IN POWER POLE ALONG N EDGE OF PALMING RD. NEAR CENTER OF SITE
 ELEV: 478.21'

- PROVISION NOTES:**
1. IRRIGATION SYSTEM FOR SOODED AND LANDSCAPED AREAS IS NOT SHOWN BUT SHALL BE DESIGNED AND PROVIDED BY CONTRACTOR.
 2. IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
 3. LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB.

UTILITY DISCLAIMER

EXISTING UNDERGROUND UTILITIES AND SERVICES LOCATED IN THE VICINITY OF THE WORK TO BE PERFORMED HEREIN ARE DEPICTED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR OBTAINED BY THE ENGINEER IN THE PREPARATION OF THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR THE COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.

800-252-1166
 www.gopherstateonecall.org

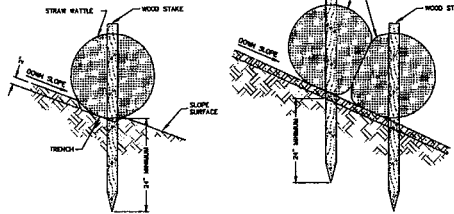
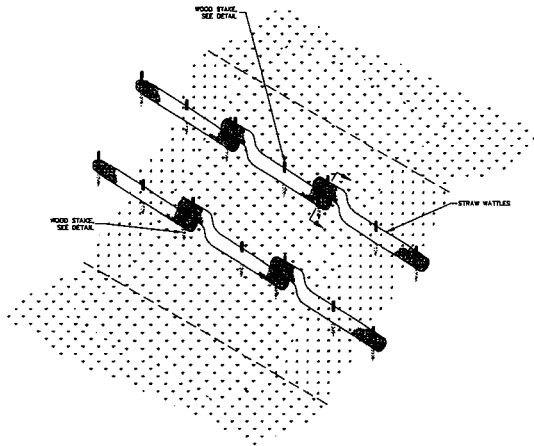
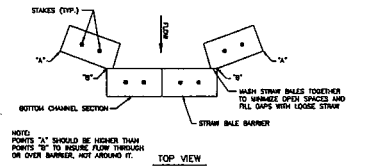
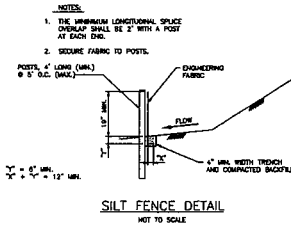
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer, License No. 144, State of Minnesota.

Date: 11-17-12

SEEDING AND MULCHING SPECIFICATIONS

ALL DISTURBED AREAS MUST BE REVEGETATED BEFORE TEMPORARY SEDIMENT CONTROLS CAN BE REMOVED.

1. **GOVERNING SPECIFICATIONS:**
ALL SEEDING, MULCHING, FERTILIZING AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE MINNESOTA DOT SEEDING MANUAL AS PUBLISHED BY THE OFFICE OF ENVIRONMENTAL SERVICES.
2. **TEMPORARY SEEDING:**
SEEDING SHALL BE PREPARED LOOSENING TOPSOIL A MINIMUM OF 3 INCHES.
3. **FERTILIZER:**
FERTILIZER SHALL BE 10-10-10 (N-P-K) COMMERCIAL GRADE APPLIED AT A RATE OF 200 LBS PER ACRE.
4. **SEEDS:**
SEED MIX SHALL BE MIXTURE 200 AS SPECIFIED IN THE MINNESOTA DOT SEEDING MANUAL. SEED SHALL BE APPLIED AT A RATE OF 100 POUNDS PER ACRE.
5. **MULCHING:**
MULCHING SHALL BE TYPE 1 MULCH APPLIED AT THE RATE OF 2 TONS PER ACRE.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: ROSEMARY WROGOTT

Signature: [Signature]

Date: 6-1-12 License # 55882

DOLLAR GENERAL

A DIVISION OF OVERLAND ENGINEERING, LLC

Overland

ENGINEERING, LLC

MINNESOTA PROFESSIONAL ENGINEER LICENSE # 121778

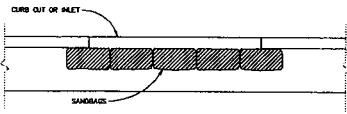
DOLLAR GENERAL

ISANTI, MINNESOTA

SEDIMENT & EROSION

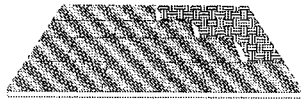
CONTROL DETAILS

SHEET
C3.1



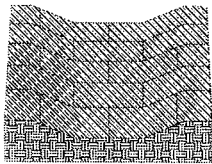
- NOTES:
1. FILL BAGS WITH 5/8" CRUSHED LIMESTONE.
 2. BAGS SHALL BE BURGLAR OR BIODEGRADABLE PLASTIC.
 3. BAGS SHALL BE INSPECTED AND REPLACED AS NEEDED.

SEDIMENT TRAP
NOT TO SCALE



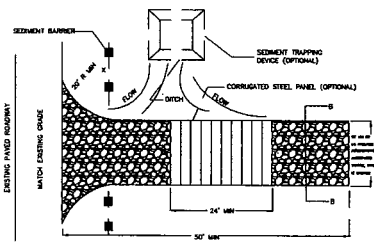
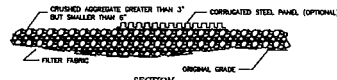
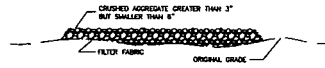
LAY SOD IN A STAGGERED PATTERN WITH STRIPS BUTTED TIGHTLY AGAINST EACH OTHER.
ON SLOPE > 3:1 USE PEGS OR STAPLES TO FASTEN SOD FIRMLY AT THE CORNERS AND CENTERS.

INSTALLATION OF GRASS SOD



LAY SOD PERPENDICULAR TO THE DIRECTION OF FLOW. USE PEGS OR STAPLES TO FASTEN SOD FIRMLY AT THE CORNERS AND CENTERS.

INSTALLATION OF SOD IN WATERWAYS



CONSTRUCTION ENTRANCE
NOT TO SCALE

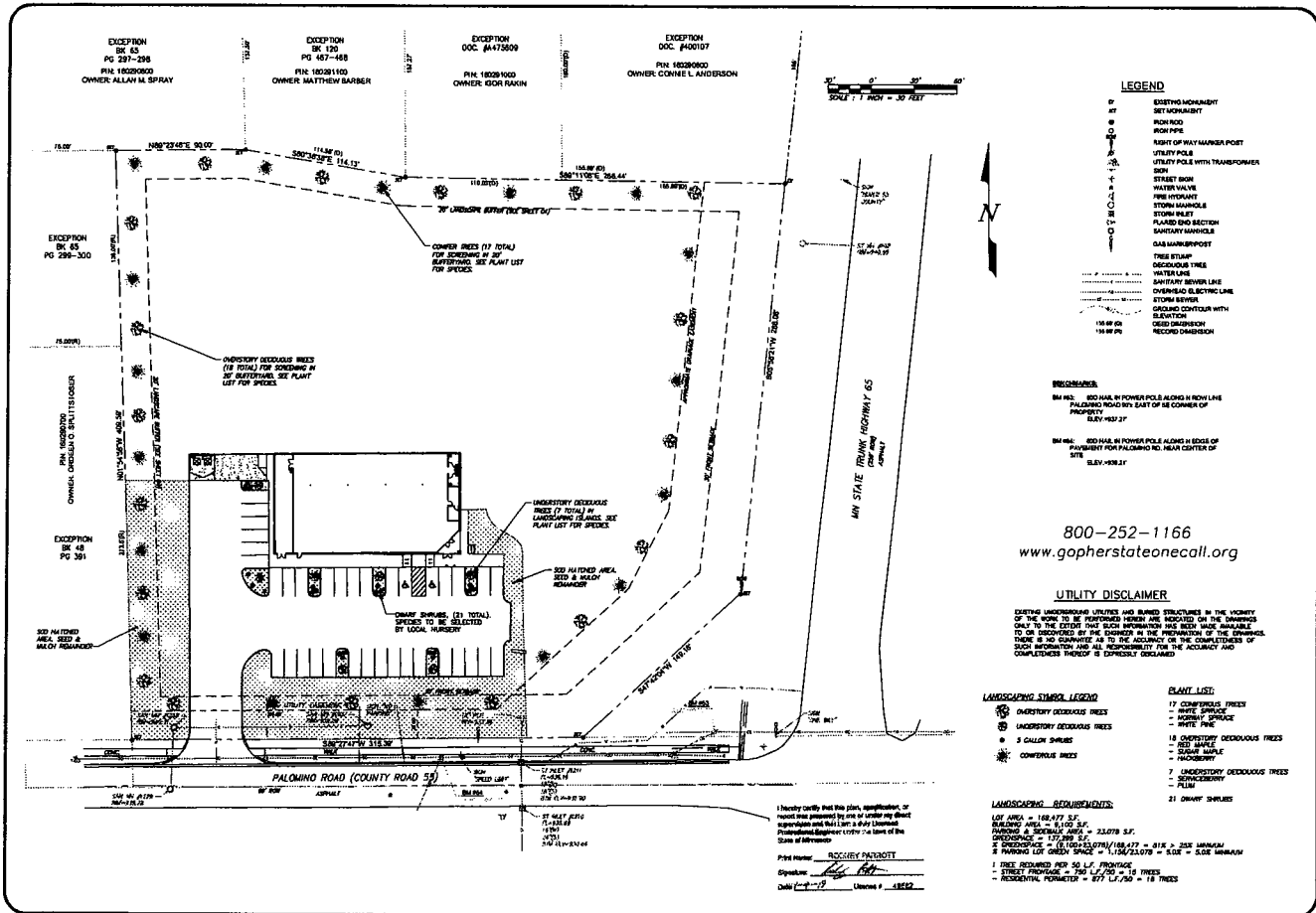
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Print Name: RODNEY MERRITT
Signature: [Signature]
Date: 1-1-12 License # 41582

DOLLAR GENERAL
A DIVISION OF OVERLAND ENGINEERING, LLC

Overland
ENGINEERING, LLC
1000 W. UNIVERSITY AVENUE, SUITE 100
MINNEAPOLIS, MN 55407-1000

DOLLAR GENERAL
ISANTI, MINNESOTA
SEDIMENT & EROSION
CONTROL DETAILS

SHEET
C3.2



DOLLAR GENERAL

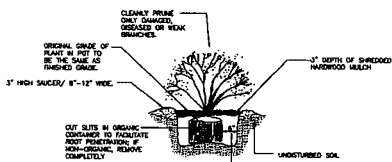
Overland
ENGINEERING, LLC
10000 UNIVERSITY AVENUE, SUITE 100
SANDY, MN 55126

DOLLAR GENERAL
SANDY, MINNESOTA
LANDSCAPING PLAN

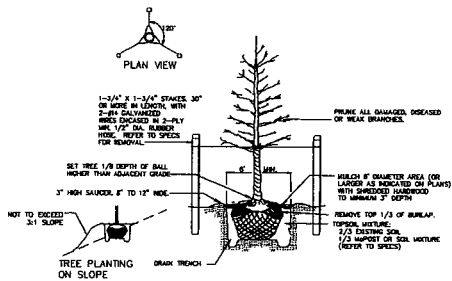
SHEET 4



EARTHEN EDGING DETAIL
NO SCALE



SHRUB DETAIL
NO SCALE



TREE DETAIL - LESS THAN 3 1/2" CALIPER
NO SCALE

LANDSCAPE NOTES:

1. ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
2. ALL TREES LOCATED IN SOO AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
3. ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTING.
4. MAXIMUM GROWTH SHALL NOT EXCEED 4:1.
5. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING.

IRRIGATION NOTES:

1. IRRIGATION SYSTEM FOR WOODS AND LANDSCAPED AREAS IS NOT SHOWN BUT SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR.
2. IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
3. LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

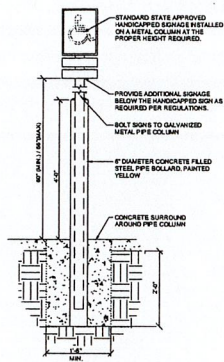
Print Name: ROSEMARY PALADOTT
Signature: [Signature]
Date: 1-1-17 License No. 5322

DOLLAR GENERAL

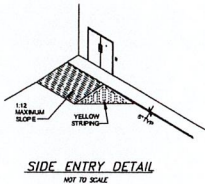
Overland
ENGINEERING LLC
100 NORTH 2ND ST. SUITE 200
MINNEAPOLIS, MN 55401
TEL: 612.338.1100

DOLLAR GENERAL
ISANTI, MINNESOTA
LANDSCAPING DETAILS

SHEET
C4.1



BOLLARD DETAIL
NOT TO SCALE



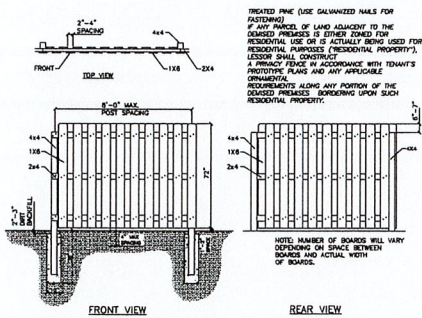
SIDE ENTRY DETAIL
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STRIPING NOTES

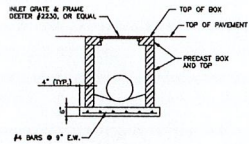
YELLOW CURBING AND BOLLARDS
SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST & COILS. STRIPING WILLAGE - YELLOW 1000 ACRYLIC ALKID ENAMEL, SAFETY YELLOW BS3700

STRIPING - PARKING LOT
SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHOWING WILLAGE - PROGRAM TRAFFIC MARKING PAINT YELLOW TRAFMARK

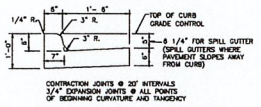
HANDICAP STRIPING - PARKING LOT
SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHOWING WILLAGE - PROGRAM TRAFFIC MARKING PAINT T.L.C. BLUE



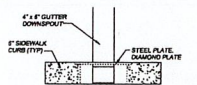
WOOD FENCE DETAIL
NOT TO SCALE



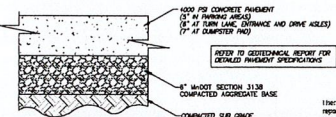
GRATE INLET DETAIL
NOT TO SCALE



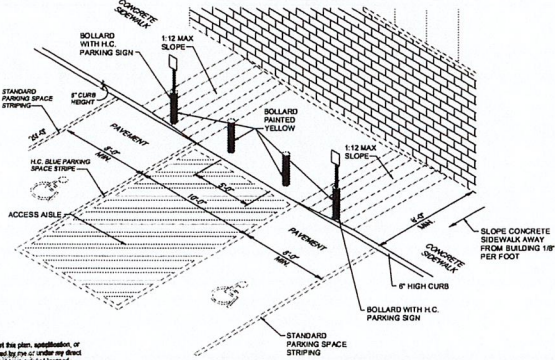
CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE



GUTTER DOWNSPOUT DETAIL
NOT TO SCALE



CONCRETE PAVEMENT SECTION
NOT TO SCALE



HANDICAP ACCESS
NOT TO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

Print Name: ROCHELLE PARSONS
Signature: [Signature]
Date: 1-11-17 License # 19222

DOLLAR GENERAL

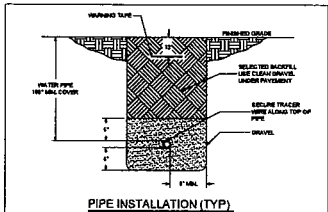
1881 17TH AVENUE S.W. MINNEAPOLIS, MN 55411

overland
ENGINEERING, LLC
1000 W. WASHINGTON AVENUE, SUITE 200
MINNEAPOLIS, MN 55415

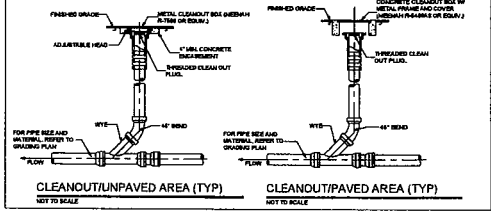
DOLLAR GENERAL
ISANTI, MINNESOTA
DETAILS

SHEET
C5

GENERAL SITE UTILITY SPECIFICATIONS AND NOTES	
1	THESE PLANS AND SPECIFICATIONS ARE PART OF AN APPROVED DESIGN SYSTEM. ANY MODIFICATION, ALTERATION, CHANGE, OMISSION, LOCATION, OR DELETION OF ANY PART OF THE PLAN OR SPECIFICATION SHALL BE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE SYSTEM AS SHOWN ON THESE PLANS AND SPECIFICATIONS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE INFORMATION PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE SYSTEM AS SHOWN ON THESE PLANS AND SPECIFICATIONS.
2	THIS APPLIES TO ALL MECHANICAL, ELECTRICAL & PLUMBING (MEP) WORK. THESE CHANGES AND SPECIFICATIONS ARE NOT DETAILED DRAWINGS. CHANGES TYPICALLY BEING MADE BY THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS.
3	THE ARCHITECT IS NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT SUPERVISION OF THE ARCHITECT.
4	CONTRACTOR IS TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING CONDITIONS. AND MAKE CORRECTIONS TO LOCAL UTILITY COMPANY REQUIREMENTS AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR IS TO CONTACT THE LOCAL UTILITY COMPANIES & TO CORRECT THE SCOPE OF RESPONSIBILITY FOR ALL UTILITY CONNECTIONS.
5	IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR CONNECTIONS AND TO COORDINATE ALL UTILITY SERVICES TO THE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS.
6	FIELD SERVICE: CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND OWNER TO ARRANGE FOR FIELD SERVICE AS INDICATED ON DRAWINGS. CONTRACTOR SHALL VERIFY THE LOCAL UTILITY COMPANY'S LOCATION AND DEPTH OF SERVICE AS INDICATED ON DRAWINGS. CONTRACTOR SHALL VERIFY THE LOCAL UTILITY COMPANY'S LOCATION AND DEPTH OF SERVICE AS INDICATED ON DRAWINGS. CONTRACTOR SHALL VERIFY THE LOCAL UTILITY COMPANY'S LOCATION AND DEPTH OF SERVICE AS INDICATED ON DRAWINGS.
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CLEANOUT SPECIFICATIONS	
1	ALL HORIZONTAL DRAINAGE SHALL HAVE CLEANOUTS LOCATED TO SET ABOVE FINISH FLOOR LEVEL.
2	ALL CLEANOUTS SHALL BE PROVIDED WITH CLEANOUTS LOCATED TO SET ABOVE FINISH FLOOR LEVEL.
3	CLEANOUTS SHALL BE PROVIDED WITH CLEANOUTS LOCATED TO SET ABOVE FINISH FLOOR LEVEL.
4	A CLEANOUT SHALL BE PROVIDED AT THE BASE OF EACH WIRE OR PIPE STACK.
5	PROVIDE A CLEANOUT NEAR THE JUNCTION OF THE DRAINAGE TRUNK AND THE BRANCH WORK. CLEANOUT TO BE INSTALLED TO FINISHED GRADE LEVEL.

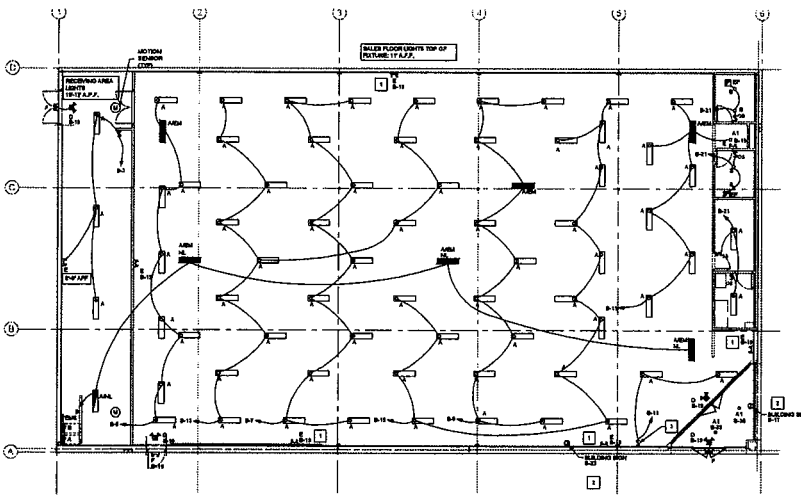


THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

PATRICK D. CROCKER, P.E.
 3211 EAST BROADWAY DRIVE
 BENTON, MISSISSIPPI 39208
 PHONE: (601) 834-1444

DOLLAR GENERAL
 10000 W. STATE STREET
 MEMPHIS, MISSISSIPPI 38117
 PHONE: (901) 521-1111

SU2



1 LIGHTING PLAN
SCALE: 1/8" = 1'-0"

LUMINAIRE SCHEDULE (SEE NOTES REGARDING REQUIRED NATIONAL ACCOUNT VENDORS)

CALLOUT	SYMBOL	DESCRIPTION	MODEL	INPUT WATTS	NOTES	QTY
A	[Symbol]	4 STRIP RECESSED, 17" LED HANG TOP OF LIGHTS @ 11'-0"	LR LED-VSP-08C3-0-088-08	33		18
A1	[Symbol]	4" LED ROUND CHALK LIGHT FIX	LR LED-L703-15MM-09-16-09-08H	15.6		1
ARM	[Symbol]	4 STRIP 17" LED HANG TOP OF LIGHTS @ 11'-0" PROVIDE THROUGH EMERGENCY SHUTTER TO PROVIDE SUBSEQUENTLY LIGHTING	LR LED-VSP-08C3-0-088-08	33		4
AAK	[Symbol]	4 STRIP RECESSED LED, 17" HANG AS LIGHT, HANG TOP OF LIGHTS @ 11'-0"	LR LED-VSP-08C3-0-088-08	33		1
B	[Symbol]	4" LED ROUND CHALK LIGHT FIX	LR LED-L703-15MM-09-16-09-08H	15.6		4
D	[Symbol]	EMERGENCY LIGHT-FIXTURE WITH CORD	COBT LERS LIGHTING 04-01-LED	4		4
E	[Symbol]	EMERGENCY LIGHT FIXTURE	COBT LERS LIGHTING 04-01-LED	4		1
EP	[Symbol]	RESTROOM EXHAUST FAN, FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR, DISCONNECT AND ELECTRICAL DISCONNECT BY THE ELECTRICAL CONTRACTOR				18
F	[Symbol]	EMERGENCY LIGHT FIXTURE, HET LOCATION LISTED	COBT LERS LIGHTING 04-01-LED	4		1
G-1	[Symbol]	FLUO CLUTOP LED WALL FACE LIGHT FIXTURE	RECAL DPHS1-088-02	36	BRACKET US-98P-02	4
H-1	[Symbol]	SINGLE FIXTURE WALL MOUNTING	VF LED-DP4-15MM-0-00-110	160	LUNA 15MM-000	1
H-1	[Symbol]	SINGLE FIXTURE POLE LIGHT ON 8' TALL POLE	VF LED-DP4-15MM-0-00-110	160	8' POLE, UR-03380-1-0M	1

NOTE: THE S.C. IS RESPONSIBLE TO OBTAIN AND CONFIRM THE DIMENSIONS OF THE FIXTURES IN THE PLANS PRIOR TO ORDERING.
LED LIGHT HEADS ARE COVERED ON FOUR SIDES PLUS THE BACK WITH THE LIGHT BEING PRODUCED IN ONE DIRECTION. LIGHT HEADS MOUNTED AND POINTING IN A DIRECTION OTHER THAN OCCUPANCY, THE CALL-UP SHOWN SHOULD BE CALLED "CALL-UP OFF". IN THIS WAY THE FIXTURES WILL NOT BE BLIND OVER TO THE PROPERTY LINE OR ACROSS PROPERTY LINES.

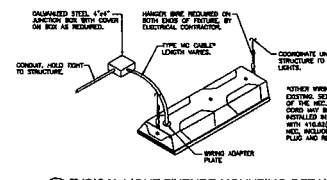
SWITCH SCHEDULE

SYMBOL	CALLOUT
S	SINGLE POLE SWITCH
S	DOUBLE POLE SWITCH WITH OCCUPANCY SENSOR - LEVITON 05454-D

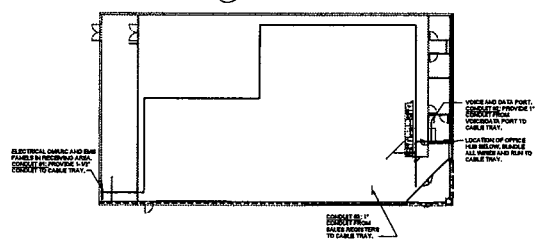
THE OPERATED PART OF LIGHT SWITCHES SHALL BE NO MORE THAN 4' UP TO ENTRY ACCESSIBILITY REQUIREMENTS.

- KEYNOTES**
- EMERGENCY LIGHTS AND LIGHTS SHALL BE INSTALLED IN ALL AREAS WHERE REQUIRED BY THE NATIONAL ELECTRICAL CODE. ALL EMERGENCY LIGHTS AND LIGHTS SHALL BE INSTALLED IN ALL AREAS WHERE REQUIRED BY THE NATIONAL ELECTRICAL CODE.
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- EMERGENCY LIGHTING CONTROL REQUIREMENTS FOR ENERGY CONSERVATION CODE**
- ALL EMERGENCY LIGHTING, OTHER THAN EMERGENCY EXIT LIGHTS AND EMERGENCY LIGHTS SHALL BE CONTROLLED BY AN AUTOMATIC TIME SWITCH.
 - EMERGENCY LIGHTING CONTROL SYSTEMS SHALL HAVE A TIME LIMIT OF 1 HOUR OR LESS.
 - FOR SECURITY REASONS, THE EMERGENCY LIGHTS SHALL BE CONTROLLED BY THE TIME CLOCK WITH MANUAL OVERRIDE CAPABLE ONLY BY EMPLOYEES.
 - EMERGENCY LIGHTING CONTROLS IN THE RESTROOMS, OFFICES AND BREAK ROOMS SHALL BE PROVIDED BY WALL SWITCHES WITH OCCUPANCY SENSORS TO TURN THE LIGHTS OFF WITHIN 15 MINUTES OF VACANT.
 - EMERGENCY LIGHTING CONTROLS IN THE RESTROOMS SHALL BE PROVIDED BY A SWITCH IN THE RESTROOM AREA.
 - EMERGENCY LIGHTING CONTROLS SHALL BE PROVIDED BY A MANUAL SWITCH NEAR THE TIME CLOCK AND ASTRONOMICAL TIME CLOCK.



2 TYPICAL LIGHT FIXTURE MOUNTING DETAIL
SCALE: NTS



3 CABLE TRAY PLAN AND CONDUIT DIAGRAM
SCALE: NTS

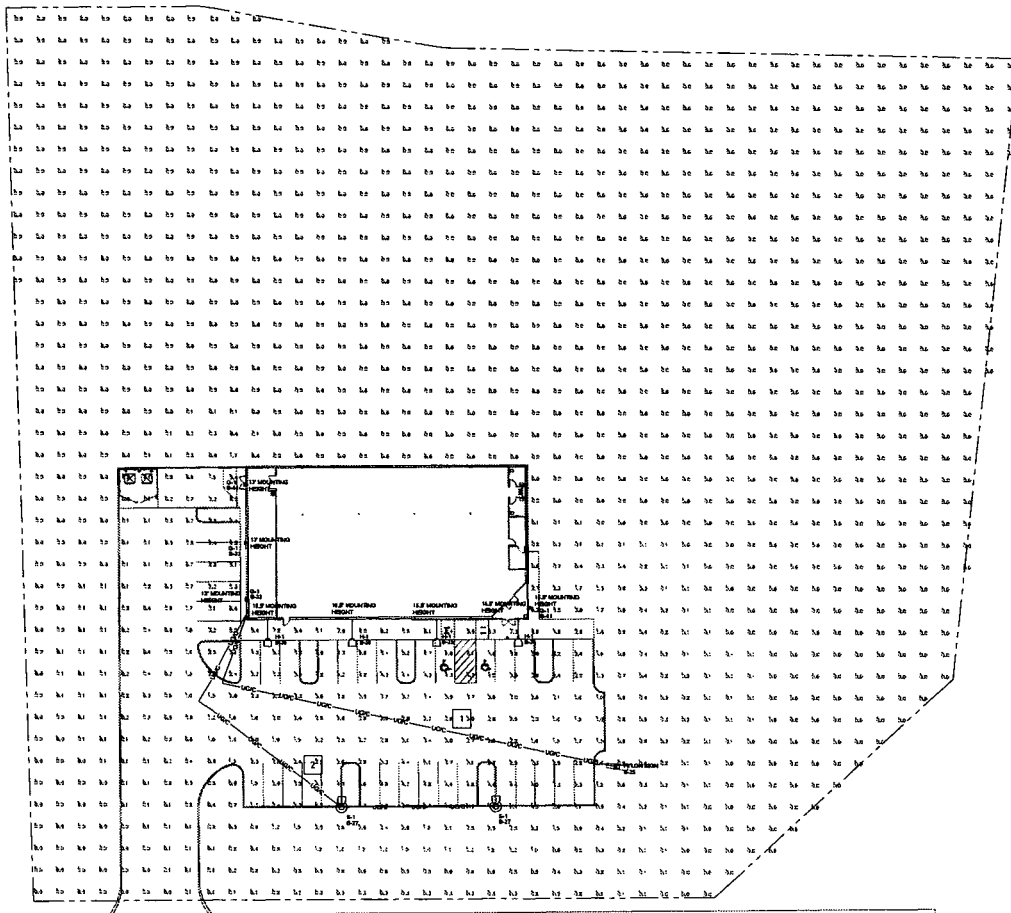
NOTE REGARDING NATIONAL ACCOUNTS: REFER TO A1.0, GENERAL NOTES (ARCHITECTURAL SHEETS) FOR A LIST OF REQUIRED NATIONAL ACCOUNT VENDORS FOR LIGHTING, SWITCHGEAR, ENERGY MANAGEMENT SYSTEM, AND CABLE TRAY SYSTEMS. THE CONTRACTOR SHALL PURCHASE ALL REQUIRED SYSTEMS FROM THE REQUIRED NATIONAL ACCOUNT VENDOR.

PATRICK D. CROCKER, P.E.
3111 EAST SANDY OLEN
MILWAUKEE, WISCONSIN 53212
PHONE: 414.764.1234

DOLLAR GENERAL
TYPE: TYPE
HIGHWAY 56 & PALMWOOD ROAD
SMITH COUNTY, MINNESOTA

DATE: 10/20/2017
PROJECT: 17-001
SHEET: 17-001-01
SCALE: NTS

E2



SITE UTILITY LEGEND		SITE UTILITY LEGEND	
SS	SEWAGE SEWER	FD	FIRE DEPARTMENT
BE	BUILDING SEWER	EM	ELECTRIC METER
W	WATER PIPING	DM	GAS METER
GA	GAS PIPING	WM	WATER METER
LE	UNDERGROUND ELECTRIC	FE	FIRE HYDRANT
OE	OVERHEAD ELECTRIC	PT	PAD MOUNT TRANSFORMER
LC	UNDERGROUND CONDUIT	HP	MANHOLE
LE	UNDERGROUND SLEEVE	CS	CLEARANCE TO GRADE
T	TELEPHONE		

KEYNOTES	
1	1" CONDUIT TO Pylon LIGHT
2	1" CONDUIT TO POLE LIGHT

DISCLAIMER: THE FOLLOWING CALCULATIONS WILL BE CONFIRMED BY THE NATIONAL LIGHTING ACCOUNT VENDOR OR NATIONAL LIGHTING ELECTRICAL SERVICE, THE E.C. AND G.C. WILL BE RESPONSIBLE TO CONFIRM THAT THE NATIONAL LIGHTING ELECTRICAL SERVICE (THE NATIONAL ACCOUNT) CONFIRMS THE BILLING INFORMATION FOR THIS SITE. ALL LIGHTING DESIGN CALCULATIONS WILL BE BASED ON THE ASSUMPTIONS LISTED BELOW. THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE BILLING INFORMATION PROVIDED BY THE NATIONAL ACCOUNT VENDOR OR NATIONAL LIGHTING ELECTRICAL SERVICE.

ALL LIGHT FIXTURES ARE COVERED BY FOUR BEAMS PLUS THE BEAM BETWEEN BEAMS. PROJECTED IN ONE DIRECTION. LIGHT FIXTURES ARE POSITIONED BY DOWNWARD BEAM DIRECTION. THE BEAM SPREAD IS TO BE CALLED "HALL CUT-OFF". AS THIS UNIT IS POSITIONED TO BE LIT AND THERE IS NO BLEED OVER TO THE PROPERTY LINE OR ADJACENT PROPERTY LINE.

SITE LIGHTING & POWER PLAN
SCALE: 1"=20'-0"



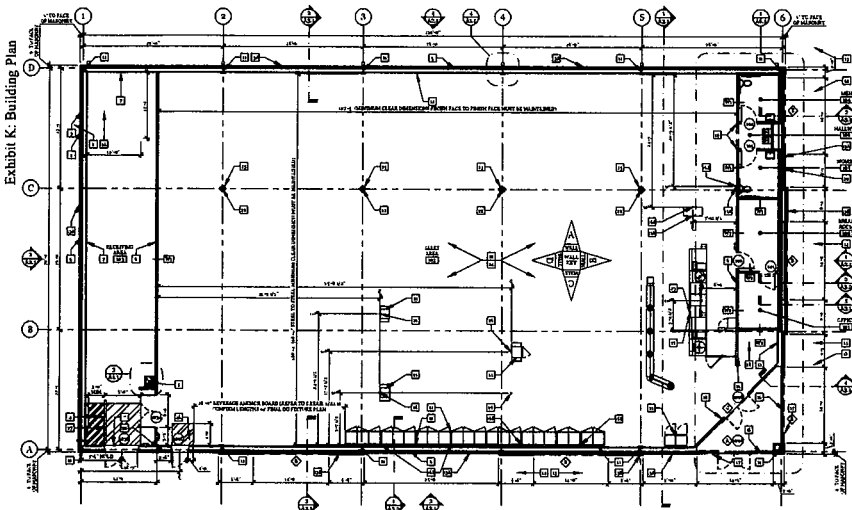
FIELD VERIFY AND CORRECT ALL UNDERGROUND UTILITIES WITH STORM WATER DETECTION AND DRINK PIPING BY P.O. CONDUCTANCE TESTS.

PATRICK D. CROCKER, P.E.
3211 EAST SHADY GLEN
MINNEAPOLIS, MINNESOTA
PHONE: 952.835.1111

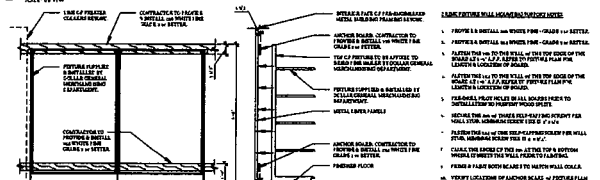
DOLLAR GENERAL
TYPE E
HIGHWAY 68 & PALOMAR ROAD
ISANTI, ISANTI COUNTY, MINNESOTA

DATE: 11/15/2011
PROJECT NO: 11-001
SHEET NO: 11-001-01

E5

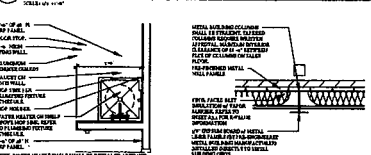


1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



WALL TYPES

2 ANCHOR BOARD DETAIL
SCALE: 1/2" = 1'-0"



3 ENLARGED MOP SINK PLAN
SCALE: 1/4" = 1'-0"

4 DETAIL AT COLUMN
SCALE: 1/2" = 1'-0"



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
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7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

FLOOR PLAN KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
3. ALL FLOORS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
4. ALL ROOFS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
5. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
6. ALL FINISHES ARE TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
7. ALL MATERIALS ARE TO BE OF QUALITY AND IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
8. ALL WORKMANSHIP IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS AS APPLICABLE TO THE LOCAL JURISDICTION.
9. ALL CONSTRUCTION IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. ALL COSTS ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

JOHN D. TORGERSOHN, ARCHITECT
110 NORTH AND AVENUE, OZARK, MO 65751 • P (417) 581-8869 • F (417) 581-9006

DOLLAR GENERAL
A DIVISION OF TORGERSOHN ARCHITECTURE

ISANTI, MINNESOTA
NORTHWEST CORNER OF STATE HIGHWAY 65 N.E. & PALOMINO ROAD 3E
NORTH EAST COUNTY, MINNESOTA 55049

PRELIMINARY
NOT FOR CONSTRUCTION

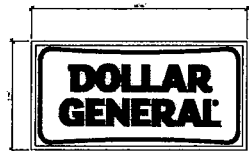
NAME: JOHN D. TORGERSOHN
ARCHITECT OF RECORD
LICENSE NO. 20040
PROJECT NUMBER: 1999-0004
DATE: FEBRUARY 04, 2004

A1.1
FLOOR PLAN & DETAILS
DATE: FEBRUARY 04, 2004

Exhibit M: Proposed Signage

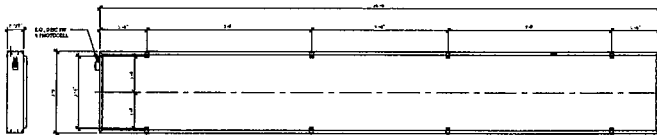


MAIN BUILDING SIGN



PRIMARY PYLON SIGN

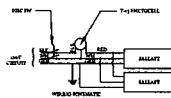
1 SIGNAGE ELEVATIONS



NON-METALLIC CLIP CONNECTOR

USE THIS CONNECTOR INSTEAD OF WALLS WITH METALLIC HOOKS OR C-CLIPS

ELECTRICAL SYMBOLS	
[Symbol]	WIRE
[Symbol]	CONDUIT
[Symbol]	WIRE BUNDLE
[Symbol]	WIRE BUNDLE
[Symbol]	WIRE BUNDLE
[Symbol]	WIRE BUNDLE
[Symbol]	WIRE BUNDLE
[Symbol]	WIRE BUNDLE



2 SIGNAGE BRACING DETAILS



FOR SITE SIGN
THIS SIGN TO BE PROVIDED & INSTALLED BY THE DEVELOPER OR CONTRACTOR AT THE BEGINNING OF THE CONSTRUCTION PROJECT.

SIGN SPECIFICATIONS

1. SIGN STRUCTURE: SIGNAGE STRUCTURE SHALL BE CONSTRUCTED FROM GALVALUMINUM CHANNELS WITH ELECTRICAL PANELS TO THE SIGNAGE. CHANNELS SHALL BE 12" HIGH AND 4" DEEP. CHANNELS SHALL BE 12" HIGH AND 4" DEEP. CHANNELS SHALL BE 12" HIGH AND 4" DEEP. CHANNELS SHALL BE 12" HIGH AND 4" DEEP.
2. SIGN STRUCTURE: SIGNAGE STRUCTURE SHALL BE CONSTRUCTED FROM GALVALUMINUM CHANNELS WITH ELECTRICAL PANELS TO THE SIGNAGE. CHANNELS SHALL BE 12" HIGH AND 4" DEEP. CHANNELS SHALL BE 12" HIGH AND 4" DEEP. CHANNELS SHALL BE 12" HIGH AND 4" DEEP.
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SIGN SPECIFICATIONS				
FROM SIDE	FROM FRONT	# OF CHANNELS	DEPTH	VOLTAGES
12"	12"	2	4"	120V
FROM REAR				
FROM SIDE	FROM FRONT	# OF CHANNELS	DEPTH	VOLTAGES
12"	12"	2	4"	120V

JOHN D. TORGERSON, ARCHITECT
118 NORTH 2ND AVENUE • OZARK, MO 65721 • P (417) 581-8889 • F (417) 581-9002

DOLLAR GENERAL
RETAIL STORE SIGNAGE

ISANTL, MINNESOTA
NORTHEAST CORNER OF STATE HIGHWAY 65 & PALOMINO ROAD SE
BENTON COUNTY, MINNESOTA 55940

PRELIMINARY
NOT FOR CONSTRUCTION

NAME: JOHN D. TORGERSON
ARCHITECT OF RECORD
LICENSE NO. 22846
PROJECT NUMBER: 14000 0000
DATE: FEBRUARY 01, 2014

A7.1
SIGNAGE &
SIGNAGE DETAILS



To: Chairman Johnson and Planning Commission

From: Don Lorsung, Asst. City Administrator / Special Projects

Date: May 9, 2019

Subject: Self Storage Facilities in B-2 Business District

Staff has received inquiries regarding placement of Self Storage Facilities in our B-2 General Business District. The locations that developers are looking at are guided and zoned for high density commercial development (with full utilities) along our Highway 65 corridor. The Self Storage use is currently a Conditional Use in the B-2 General Business District. In talking with those proposing such facilities, they are looking for locations on major highway corridors adjacent to the metro area. There currently is a high demand for these facilities and increasing resistance from both municipalities and counties on siting these facilities.

Staff Recommendation:

Staff recommends that the Planning Commission review if it is in the interest of the City to keep this use as a conditional use in the B-2 General Business District. It is especially concerning in areas where existing road systems and full utilities have been developed, as well in areas that are zoned and guided for density commercial development. If the Planning Commission desires to retain the use until the Comprehensive Plan Update is completed, then staff would recommend that a moratorium be placed on this use in the B-2 General Business District.



MEMORANDUM

TO: Chairman Johnson & Planning Commission

FROM: Don Lorsung, Assistant City Administrator/Special Projects

DATE: May 15, 2019

RE: Community Vision, Goals & Strategies – 2019 Comprehensive Plan Update

Staff has reviewed the Community Vision, Goals and Strategies from the 2007 Comprehensive Plan. These goals were formulated from ideas and input from Citizens that participated in the Comp Plan Community Kick-off Meeting and Goals and Policies Workshop. That section of the 2007 Comprehensive Plan is being provided as an Attachment for your information as you review the proposed Goals/Strategies

Planning Commission Task

Staff has reviewed the Community Vision/Goals and believes that they are still relevant today. With that in mind staff has moved forward to update the Goals and Strategies. New or Updated Goals are underlined. Staff requests that the Planning Commission review the proposed revised updated/revised Goals and be ready to discuss/review those at the May 21, 2019 Planning Commission meeting.

Community Vision:

The City of Isanti Shall Be...

A Place with a Unique Character and Small-Town Atmosphere

The City will strive to maintain the small-town atmosphere that makes Isanti a welcoming place to be. Isanti's small-town character will help forge an identity for the City and will help create a unique destination for visitors.

A Place that Recognizes the Importance of Natural Resources

The community recognizes the need to preserve the Rum River and other natural resources in the City. These resources add value to the community and should be enhanced and protected to ensure that they can be enjoyed for generations to come.

A Place that Values its Residents, Community Facilities, and Community Involvement-Opportunities

The City will continue to enhance and provide community facilities that meet the needs of current and future residents. The City will be a place with community gathering spaces and recreational opportunities that provide places for community engagement, participation and a healthy lifestyle for all of Isanti's residents.

A Place with a Growing and Thriving Downtown

The Downtown should strive to function as a focal point for business and retail opportunities to serve a variety of needs in the community. The Downtown should be seen as a place for people to gather and congregate. Downtown should be a place that is pleasant for residents and visitors, and should provide the basic necessities and everyday needs to its residents.

A Place with a Quality Park System

The City will provide a quality park system that includes places for children to play, bike and utilize pedestrian trails, community centers, and athletic fields. These amenities add to the enjoyment of living in Isanti and should be accessible to all residents.

A Place with a Variety of Housing Types

The community recognizes the need to provide its residents with a range of housing options. It is important that residents have the opportunity to stay in the community while they continue through the lifecycle.

A Place with Well Planned Developments

The City must be thorough in its planning process to ensure that development occurs in the best possible places. The planning process must be diligent in order to meet the needs of residential, commercial, and industrial development.

A Place with High Quality Services

The City will strive to provide its residents with a high level of services. The City also needs to balance the distribution of City services with the desire to keep taxes reasonable. Contiguous and orderly growth will help improve efficiency and maintain costs of services in the City.

A Place with Employment Opportunity

The community wants to see Isanti as a place that is not only a great place to live, but also a great place to work. The community would like to see more prospects for employment in Isanti so that residents will not have to work elsewhere and spend large quantities of time commuting.

A Place Where an Effective Transportation System is Available

The City will strive for the most effective, safe, and coordinated transportation system possible. The community expects that the transportation system will move people around the City efficiently and avoid congestion. Connections between neighborhoods and commercial areas need to be made with sidewalks and trails to provide alternative methods to move around the City.

General Community Goals

Community Goal #1:

Promote community spirit, unity and diversity.

Strategies:

1. Recognize the assets of citizens of all ages, incomes, faiths and cultural heritages.
2. Continue to find ways to educate the public on cultural, economic, faith, age-based and other diversity issues.
3. Encourage increased interaction and communication between citizens of all ages, faiths, cultural heritages and incomes.
4. Support and coordinate City events that promote pride and a "sense of community".
5. With new residents transitioning into the City, find a way to engage them on an annual basis.
6. Find ways through events or neighborhood associations to strengthen relationships between residential property owners to build community and enhance public safety.

Community Goal #2:

Maintain and enhance a friendly and caring small-town atmosphere.

Strategies:

1. Continue to provide community gathering opportunities to encourage resident interaction and support.
2. Work with schools, houses of worship, and service organizations to keep residents involved and participating in community events.
3. Maintain and enhance existing community gathering spaces to ensure residents have adequate places to congregate and meet.

Community Goal #3:

Encourage citizen participation and education in all aspects of City government, planning and community life.

Strategies:

1. Actively encourage and utilize resident participation in the local decision-making processes.
2. Educate and communicate this Plan's overall goals, policies and recommendations to the public, particularly with regard to the growth management and sustainable development concepts embodied in the Plan.
3. Continue to seek out creative ways to communicate local government activities and information to the public through means such as newsletters, city web sites/social media, neighborhood

associations and other community groups.

4. Coordinate and participate in programs that teach leadership skills to residents, area business owners, employers and non-profit leaders.
5. Encourage volunteerism, participation in community activities and acceptance of community leadership positions by citizens of all ages, faiths, cultural heritages and incomes.
6. Seek partnerships with community coalitions and interest groups to share resources and energies in order to address community problems and opportunities.

Intergovernmental Coordination Goals

Intergovernmental Coordination Goal #1:

Promote ongoing shared planning among all Isanti County jurisdictions. Strategies:

1. Work with adjacent townships, municipalities and the County to ensure planning goals objectives, and policies are understood and accepted.
2. Communicate and educate local officials regarding needed planning and zoning ordinances and policies.
3. Pursue new collaborative planning efforts among local governments and organizations to address existing and new issues as they arise with regard to land use, transportation, parks, natural resources and other areas of mutual concern.
4. Promote information sharing between the City and surrounding townships, municipalities and counties and encourage their participation in City issues of shared concern.
5. Communicate and educate local officials regarding development projects that affect adjacent townships, municipalities and the County.
6. Maintain communications, and collaborate where appropriate, with state agencies involved in planning issues that affect the City and region.

Intergovernmental Coordination Goal #2:

Actively explore opportunities for all jurisdictions, agencies and public organizations in the County to share services and resources to reduce or eliminate duplication and improve efficiency.

Strategies:

1. Explore development of joint governmental ventures in the delivery of services in the areas of sewer and water, emergency services, solid waste, mental health, libraries, education, fiber optics, regular capital facility projects and other services.
2. Work with adjacent municipalities to identify areas where consolidation

and/or collaboration could reduce overall cost and increase effectiveness of government in the region.

Community Appearance and Livability Goals

Community Appearance and Livability Goal #1:

Maintain and enhance the appearance, integrity, heritage, identity and local character of the City's built environment.

Strategies:

1. Create and strengthen the appearance of key transportation corridors (Hwy. 65, Heritage Blvd., Whiskey Rd, CSAH 23, through streetscape improvements, design standards, zoning, trails, lighting, sidewalks, signage and other tools.
2. Develop and enforce design, performance, development and site planning standards, incentives and resources to ensure quality development.
3. Plan for amenities on secondary City access routes (3rd Avenue NW, Cajima, 8th Avenue SE, CSAH 55, Railroad Avenue, South Passage, Townsedge Road). Create and identify locations for community gateways that will encourage legibility and identity within the City.
4. Work with local historical organizations to create and maintain an inventory of historic community resources.
5. Prepare and/or adopt appropriate guidelines or regulations for the use or reuse of historically significant properties.
6. Support the efforts of local historical organizations to promote the preservation of historically significant places and records where practical and economically viable.
7. Explore methods and funding options, to uphold the general appearance of older buildings and neighborhoods through their maintenance and upkeep.
8. Continue programs to encourage compliance with city codes for upkeep of commercial and industrial sites/buildings and residential neighborhoods/housing stock.

Community Appearance and Livability Goal #2:
Enhance community and neighborhood livability

Strategies:

1. Ensure new developments are connected to existing development through the efficient use of streets, sidewalks, trails, utilities and infrastructure.
2. Encourage quality and appropriate development of housing, shopping and employment in proximity and proper density to each other.
3. Encourage the integration of multi-modal access including parking, sidewalks and bike paths within new developments.
4. Explore the need for a high school to serve existing and future residents.
5. Encourage a variety of types of neighborhood designs, including neo-traditional, conservation, and other alternative designs.
6. Encourage locally grown food availability and support for the Farmers Market.

Community Appearance and Livability Goal #3: Maintain adequate active and passive open space to meet the needs of the community.

Strategies:

1. Require the integration of parks, green space and natural amenities within new developments to ensure that residential neighborhoods have adequate access to park facilities.
2. Enhance the quality of life and safety of residents by establishing bikeways, walkways and other multi-use paths in developing areas.
3. Work to link area parks, neighborhoods, natural amenities, and community facilities through the development of local and regional trails.
4. Continue to support and create new forms of funding for equipment, improvements, and maintenance of new and existing neighborhood parks and recreational facilities.

Natural Resources Goals

Natural Resources Goal #1:

Protect, conserve and enhance natural resources and environmentally sensitive areas within the City and its planned growth areas for the community's long-term environmental and economic benefits.

Strategies:

1. Avoid wetlands, native species (endangered and threatened), sensitive

- areas and other significant natural resources during development.
2. Minimize the impact of urban development on wetlands, rivers, forested areas and other environmental features.
 3. Create a greenway corridor and natural areas plan that is tied to the land use plan and links environmentally sensitive areas, stream and river corridors, trail corridors, institutions, parklands and neighborhoods.
 4. Encourage maintenance of wetlands and natural drainage systems when accommodating new growth and reestablishing wetlands and natural drainage systems within developed areas when opportunities arise.
 5. Work with the DNR to ensure that Rum River Scenic areas and easements are maintained.
 6. Ensure that any future Rum River crossing is designed to avoid and/or mitigate adverse environmental impacts.
 7. Protect both surface and groundwater from hazardous waste, fertilizers and pesticides.
 8. Educate residents on home and yard use of hazardous chemicals, fertilizers, and pesticides.
 9. Continue to enforce erosion & sediment control requirements.
 10. Continue to encourage public and private recycling programs to promote waste reduction.
 11. Work to protect endangered, threatened and rare species and their habitats. Ensure that existing wildlife corridors are maintained.
 12. Continue implementation on Wellhead Protection Program, MS4 Stormwater and Rain Garden Programs, with public education on the programs and how citizens can assist with program objectives.
 13. Consider adopting a tree preservation policy and planting program. Work to diversify tree species in the urban forest and encourage a tree canopy in appropriate urban areas.
 14. Identify aggregate resources within the City and its planned growth areas and develop strategies to ensure the ability to extract them in the future.

Natural Resources Goal #2:

Conserve, restore, and enhance natural resource systems within the City's boundaries.

Strategies:

1. Work with adjacent municipalities, developers and residents to restore and enhance natural resource systems that may have been degraded or altered.
2. Utilize the Natural Resources Inventory prepared as a part of the 2007 Comp Plan to guide future growth and expansion.
3. Communicate and coordinate with surrounding townships and municipalities to ensure that connectivity and natural resource corridors are protected and well maintained.

Growth Management

Growth Management Goal #1:

Provide clearly defined growth management areas that are contiguous with existing development

Strategies:

1. Utilize the Natural Resources Inventory, projections and service capacity to designate areas for contiguous and efficient growth opportunities.
2. Work with residents, land owners and developers to develop land in a contiguous and efficient manner.
3. Adopt a land use plan that clearly identifies areas suitable for growth and efficient services in appropriate densities.

Growth Management Goal #2:

Guide growth in areas suitable for urban services and preserve agricultural land uses to the greatest extent possible.

Strategies:

1. Work with large land owners and farmers to plan for future growth and appropriate phasing of development.
2. Identify key agricultural lands that should be preserved or enhanced.
3. Maintain low densities within areas outside the growth areas to ensure opportunities for City services in the future exist.
4. Ensure that land outside the growth area is well planned for and phasing for development is considered.

Land Use Goals

Land Use Goal #1:

Support the compact, efficient and orderly growth of all urban development including residential, commercial, and industrial areas.

Strategies:

1. Identify planned growth areas outside the current City boundaries (Urban Service Areas). Work with the county and townships on expansion of USA tiers as the City develops.
2. Work with surrounding townships and counties to develop orderly annexation agreements for the planned growth areas and to maintain low densities within those areas until such time as urban development can be facilitated and provided with an appropriate range of urban services in a cost-effective manner.
3. Require that properties served by public utilities be located within the City.
4. Coordinate with surrounding townships and county to create conceptual master plans for the planned future growth areas that will promote connectivity to existing and future transportation systems and contiguous natural resource corridors.
5. Encourage a balanced strategy of "infilling" within the City and annexing and developing new areas in stages.

Land Use Goal #2:

Achieve availability and adequacy of municipal services to ensure a high quality of life for all existing and future residents.

Strategies

1. Work with adjacent townships to plan for the extension of services and growth into areas contiguous to existing development.
2. Plan to develop and provide all municipal services prior to initiating annexation.
3. Avoid the premature development of rural areas before City services are available thus preserving agricultural character.
4. Prepare utility facility and trunk line plans that are in conformance with the land use plan.

Land Use Goal #3:

Plan land uses and implement standards to promote quality development and minimize land use conflicts.

Strategies

1. Prepare and adopt a land use plan that designates land use areas and guide(s) development to appropriate areas in order to ensure desirable land use patterns and minimize conflicts.
2. Require transitions between incompatible land uses through appropriate planning practices and zoning standards.
3. Prepare performance, design and/or other development standards for commercial and industrial development.
4. Design and/or locate industrial and commercial developments to avoid adverse impacts on residential areas, while continuing to promote compatible, contiguous development patterns.
5. Achieve a balanced mixture of land uses through the implementation of zoning and other tools.
6. Follow the US Constitution and State Statutes in all matters related to the acquisition of private land for public uses.

Land Use Goal #4:

Identify adequate, appropriate and accessible locations for future commercial, business, and industrial development.

Strategies

1. Protect and enhance the investment in existing business when planning for future land uses.
2. Explore commercial and industrial opportunities along the Highway 65 Corridor. Preserve commercial areas with developed road systems and infrastructure for high density commercial development that provides tax base and jobs. Protect these commercial areas from low density and undesirable development.
3. Protect and encourage development and redevelopment of the downtown that is consistent with the City's historic character. Plan for future redevelopment to add to and sustain the commercial core. Encourage development of mixed-use buildings.

Land Use Goal #5:

Support development that enhances community character and identity.

Strategies

1. Promote and provide high quality housing in areas surrounding the golf course.
2. Prepare and adopt master plans for all community growth and redevelopment areas prior to development.
3. Locate appropriate senior housing opportunities in close proximity to services and community amenities.
4. Establish lot sizes and other performance standards that support or enhance the community vision.
5. Embrace conservation development practices to conserve and enhance natural resources and add interest and amenity into community subdivision design.

Land Use Goal #6: Create healthy, livable, neighborhoods designed to foster and support a sense of community.

Strategies

1. Successfully integrate parks, open spaces, and natural areas into the community fabric.
2. Establish and integrate natural and man-made amenities within planned neighborhoods.
3. Work with property owners and developers to encourage walkable neighborhoods and a more sustainable neighborhood form.

Housing Goals

Housing Goal #1:

Promote a variety of housing types in Isanti for existing and future community residents.

Strategies:

1. Continue to study housing goals, needs and resources. Watch for changing housing market conditions and opportunities/projects to meet City housing needs.
2. Work closely with the Federal Housing Administration (FHA), Veteran's Affairs (VA), Minnesota Housing Finance Agency (MHFA), the Greater Minnesota Housing Fund (GMHF), local lenders, builders, and other organizations that can help Isanti meet its housing goals.
3. Encourage public-private partnerships to expand affordable housing opportunities.
4. Explore zoning methods that allow neighborhoods with mixed housing types and/or other appropriate uses within residential areas.
5. Encourage the appropriate dispersion of housing types throughout the City. Placement should align with appropriate housing densities and setbacks.
6. Encourage an adequate supply of senior housing options to meet the needs of the City's aging population.
7. Examine zoning and other development standards to ensure they do not unreasonably hinder the provision of affordable housing.

Housing Goal #2:

Create a high-quality environment in all residential neighborhoods.

Strategies:

1. Enforce necessary codes to ensure the continued maintenance of the existing housing stock.
2. Encourage infill housing where appropriate. Encourage extension of infrastructure to allow infill to occur.
3. Examine and change, if necessary, zoning and other regulations to ensure that an appropriate mix of housing is developed.

Downtown Goals

Downtown Goal #1:

Identify the function of Downtown Isanti and improve the economic viability of the redevelopment district.

Strategies:

1. Prepare and implement a Downtown Development Plan that integrates design standards that support its historical character.
2. Renovate and rehabilitate existing downtown buildings. New buildings should match the historic downtown. Encourage mixed use buildings.
3. Provide safe, adequate and convenient parking to support downtown growth.

Downtown Goal #2:

Work to improve the economic vitality of downtown Isanti to provide services for current and future residents.

Strategies:

1. Identify businesses and services that are most appropriate for downtown to attract more residents and visitors.
2. Encourage the development of small, independently owned businesses and services to maintain the small-town character of Isanti.
3. Encourage destination commercial businesses and community facilities to draw visitors to the downtown.
4. Encourage development that is complimentary to community facilities and events to encourage activity in the downtown.

Economic Development Goals

Economic Development Goal #1:

Maintain, develop and grow industrial and commercial opportunities in the City to increase the number of jobs and diversify the tax base.

Strategies:

1. Expand the number of service providers and commercial shopping opportunities to meet the needs of the existing and future community.
2. Realize the opportunities to attract and support new businesses and community facilities.

3. Explore the expansion of the industrial park to increase the community's tax base and provide employment opportunities.
4. Target existing incentivized industrial park lots for new industrial development that enhances both the tax base and provides new jobs.
5. Maintain and enhance the friendly and responsive services currently associated with community businesses.
6. Provide adequate space and location for professional services to meet the community's future needs.
7. Explore the recruitment of commercial uses that will provide spin off benefits to existing small businesses.
8. Attract and retain high valued land uses. Protect open commercial land that has infrastructure in place for high density commercial development.
9. Take the lead role in coordinating and streamlining economic development initiatives and programs within the City.
10. Target resources and programs to attract businesses that have an emphasis on job creation, businesses that meet or exceed livable wage requirements or address other community needs.
11. Continue to support or expand local business retention and expansion initiatives. Work with local business start-ups to build their businesses and expand locally.
12. Recognize the fundamental linkage between housing and economic development. Work to match housing availability with community employment.
13. Promote the rehabilitation and redevelopment of existing commercial facilities by continuing to pursue and make available various financial programs and assistance.

Economic Development Goal #2:

Promote efficient, planned commercial and industrial expansion within the City's growth areas, accessible to public infrastructure and transportation.

Strategies:

1. Identify key commercial and industrial development opportunities within the City's planned growth areas in locations with access to major transportation systems.
2. As opportunities for incentives or a key industry present themselves, work to develop a rail industrial park.

3. Ensure the appropriate provision of street and rights-of-way in new commercial and industrial developments.
4. Encourage compact and mixed-use commercial developments that will make efficient use of infrastructure and resources.

Economic Development Goal #3:

Enhance the character of the City's commercial and industrial developments.

Strategies:

1. Develop and adopt architectural, design or other development standards such as landscaping, screening and other standards within the City's commercial and industrial districts.
2. Encourage the provision of open/green space within commercial and industrial development.
3. Encourage historic preservation to enhance the character of commercial areas with historical significance.
4. Assist businesses in locating local, regional, state, federal and private resources that will provide rehabilitation assistance.

Community Facilities Goals

Community Facilities Goal #1: Work to provide the services and facilities required to protect and maintain the health, safety, and welfare of Isanti citizens in an equitable and cost-effective manner.

Strategies:

1. Work with adjacent townships and municipalities to prevent premature urban development within the planned growth areas that are located beyond the City's long-term ability to provide services, such as streets, sewer and water.
2. Create conceptual master plans for the planned growth areas that will identify, map, and preserve future utility corridors.
3. Encourage the protection of public health by requiring any on-site sewage systems to conform to state requirements for siting, design, construction and maintenance.
4. Foster and maintain a commitment to open, inclusive, and mutually respectful community governance.

Community Facilities Goal #2:

Promote the expansion and development of the community's green infrastructure which consists of parkland, environmentally sensitive areas, river and stream corridors and trail facilities throughout the City and its planned growth areas.

Strategies:

1. Explore all federal, state and other funding opportunities for local and regional parks, open space and trail acquisition, development, and maintenance.
2. Identify areas in the planned growth areas that would be strategic parkland resources.
3. Continue to require the dedication, acquisition and maintenance of parkland in the planned growth areas to meet future park needs of the community.
4. Continue to implement the City's Comprehensive Park Plan.

Community Facilities Goal #3: Ensure that development or expansion of community facilities takes into account anticipated future population growth and needs of existing and future residents.

Strategies:

1. Explore rebuilding the community center to adequately serve existing and future residents.
2. Provide additional year-round recreational opportunities and facilities.
3. Maximize opportunities to share facilities between the City and the Cambridge-Isanti school district.
4. Explore locations for a new high school.

Parks and Open Space

Parks and Open Space Goal #1:

Adopt and maintain a parks, open space and trail plan to meet Isanti's current and future needs.

Strategies:

1. Provide and maintain parks and open spaces that meet the needs of current and future residents.

2. Plan for future park needs and demands for current and future residents in the City of Isanti.
3. Work with City Staff, residents and adjacent municipalities to develop and maintain an efficient and well-kept park and trail system.
4. Revise and update the Park and Trail Plan to ensure that current and future needs of the residents are met.

Parks and Open Space Goal #2:

Provide and maintain a trail system with connectivity to the City sidewalk system, county trail system, and state trails.

Strategies:

1. Provide and maintain trails that meet the needs of current and future residents.
2. Continue to work with Isanti County, adjacent Townships and municipalities to develop linkages to County and Regional Trail Systems.
3. Encourage trail connectivity to promote active healthful living.
4. Continue to work on pedestrian bridge over Highway 65.

Transportation Goals

Transportation Goal #1:

Provide a safe, efficient and adequate transportation system that serves and balances both access and mobility needs.

Strategies:

1. Use the functional classification system to define and plan existing and new roadways.
2. Develop and utilize access management guidelines.
3. Require the provision of safe and adequate access to all properties through the implementation of subdivision regulations.
4. Create safe sidewalks, trails and bus stops and incorporate appropriate safety features into all

transportation improvement projects.

5. Pursue traffic devices and road improvements to increase capacity and access to existing arterials and major road systems.
6. Develop a dedicated plan for road improvements to provide access to the East Highway 65 Commercial Properties.

Transportation Goal #2:

Create and provide excellent north-south and east-west connections and movements throughout Isanti.

Strategies:

1. Prepare and implement a transportation plan with a hierarchy of community roadways providing excellent north-south and east-west movements throughout the City.
2. Work with County and Township Officials on traffic improvements on road corridors that serve adjacent Townships.
3. Provide best available access to Main Street to serve adjacent commercial and downtown areas.
4. Provide safe and convenient crossings at key locations along the Highway 65 Corridor.
5. Successfully integrate the east and west sides of the Highway 65 Corridor through transportation and open space linkages and pedestrian paths including a dedicated pedestrian and non-vehicular connection across Highway 65.
6. Continue to provide access points to support economic development by increasing direct transportation connections and movements.

Transportation Goal #3:

Transportation Goal #4:

Coordinate transportation with land use planning and environmental protection.

Strategies:

1. Consider the impacts to neighborhoods when planning new or upgrading existing roadways.
2. Support transportation projects that support the compact, orderly development of the City and region and are supportive of the preferred development pattern emerging from this Plan.
3. Design transportation systems to avoid, where possible, wetlands and other environmentally sensitive areas and consider Minnesota Wild and Scenic or other state rules.
4. Identify and consider the costs of lost environmental benefits for proposed transportation projects.
5. Adopt a Bike/Alternate Transportation Plan for the City.

Transportation Goal #5:

Establish a strong multi-modal transportation plan to meet the community's current and future needs

Strategies:

1. Incorporate, where feasible, bicycle and pedestrian infrastructure and safety standards when planning changes, additions, or maintenance to roads, sidewalks, bridges, paths or other public facilities.
2. Encourage bike parking facilities at parks within neighborhoods, and at retail/ commercial developments.
3. Continue to maintain and seek ways to expand the existing network of bicycle and pedestrian trails throughout the City.
4. Establish and maintain a commitment to improved transit services to support the community's transit needs.
5. Encourage sidewalks and separated pathways along all arterial and collector streets when developing residential and commercial areas through the City's subdivision regulations.
6. Promote the connectivity of alternative transportation systems and have such

transportation systems connect efficiently to community and recreational facilities.

7. Ensure the provision of adequate arterial roadways and design local streets and subdivisions to discourage driving at unsafe speeds and to promote pedestrian and bicycle use.
8. As Opportunities avail themselves, Explore commuter rail and mass transit options for commuters from Isanti to the Twin Cities Metropolitan Area.
9. Continue to work on the pedestrian bridge over Highway



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, June 18, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - E. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the May 21, 2019 Planning Commission Meeting

3. Public Hearings
 - A. Request from City of Isanti to Amend Ordinance No. 445 Zoning; Section 7, Article Two, General Business District, Subdivision 3: Conditional Uses; to remove Self storage facility as a Conditional Use.

4. Other Business

5. Discussion Items.
 - A. Comprehensive Plan Update – Chapter 2

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
MAY 21, 2019**

A. Call to Order.

Chairman Johnson called the meeting to order at 8:30 p.m.

B. Pledge of Allegiance.

C. Member Collins was sworn in

D. Roll Call.

Members Present: Jeff Johnson, Dan Collison, Steve Lundeen, Paul Bergley, James Grodon, Arissya Simon, and Alexander Collins

Members Absent: None

Staff Present: City Administrator Josi Wood, Contracted City Planner Ryan Kernosky, Assistant City Administrator/Special Projects Don Lorsung, Community Development Director Sheila Sellman.

E. Secretary Appointment

The Board appointed Sheila Sellman as the Planning Commission Secretary

f. Agenda Modifications.

None

2. Approval of Minutes from March 19, 2019 Planning Commission Meeting.

Motion by Collison, second by Lundeen to approve the February 19, 2019 Planning Commission Meeting Minutes. Motion was approved 7-0.

3. Public Hearings

A. Request from Stacy Upton (dba Idle Hands Tattoo) for approval of an Interim Use Permit required under City Ordinance 445, Section 7 Article Two, Subd. 4 (K). Said request is for the operation of a tattoo studio at 303 Credit Union Drive NE, Unit 5, PID 16.077.0050 & 16.077.00360

Chairman Johnson opened the public hearing. Sellman presented the staff report, commenting that this is an Interim Use Permit in the B-2 district use and that the project meets requirements. The Commission reviewed the request. No one from the public commented.

Motion by Collison, seconded by Simon, to approve the Interim Use Permit with the conditions listed in the staff report. Motion passed 7-0.

B. Request from Amber Blesener (dba Amber's Hair Salon) for approval of an Interim Use Permit required under City Ordinance 445, Section 6, Article 1, Subd 5 and section 13, Article 1,

Subd. 4 (c). Said request is for operation of a home occupation at 201 4th Ave NW PID 16.042.0110

Chairman Johnson opened the public hearing. Sellman explained that an IUP was not necessary and that this use can be approved administratively through a Zoning Permit. The public hearing was held and advertised. No one from the public spoke on this item. The Public Hearing was closed and this item was directed to go back to staff for review.

C. Request from Dollar General for Preliminary and Final Plat approval of a minor subdivision under City Ordinance 536, Article 3. , at 340 Palomino Road SE. PID 16.029.0900

Chairman Johnson opened the Public Hearing. Connie Anderson of 409 Shawn Street spoke at the Public Hearing. Her property abuts the subject property. She has concerns with light pollution, trash, theft, noise and commercial abutting residential.

George Hemen of 320 Palomino Road spoke at the Public Hearing. Concerned with traffic and the business not facing HWY 65. He would like screening along Palomino Road.

Nicole Spray of 301 Shawn Street Road spoke at the Public Hearing. Stated her backyard is private and would like to keep it that way and requests that Dollar General put up a fence.

Chair Johnson closed the Public Hearing. Kernosky gave the staff report and stated this action is for the subdivision and not the site plan.

Motion by Collinson, seconded by Gordon to approve the minor subdivision with conditions. Motion was approved 7-0.

4. Other Business.

A. Continuation of consideration of a Request from Dollar General, Inc. for approval of a Site Plan Review per Ordinance 445, Section 18, Subd. 2(A) for construction of a Dollar General store at 340 Palomino Road SE, PID 16.029.0900.

Motion by Bergely to un-table this item seconded by Collison, motion passed 7-0. Kernosky gave the staff report. Explained that the City can't regulate the type of business, the proposed use is permitted. The proposal is in compliance with the Zoning Code.

Bryan Boss, BJ Boss Builders represented the applicant, he is the contractor. The Commission asked him to address the issues raised by the neighbors. He stated they will follow city code and be able to meet the conditions. Commissioner Johnson wants the development to provide screening to the residents. Commissioner Lundeen was concerned about screening and possible accidents with too much plantings.

Motion by Lundeen, 2nd by Simon to approve the site plan with the conditions outlined and an additional condition that a berm and a 6-foot-tall fence along the west property line, and landscape plan that broke up the north side of the building.

5. Discussion Items

A. Moratorium on Self-Storage Facilities in the B-2 Commercial Business

Lorsung presented the staff memo and explained that the City has been approved by a few developers looking to do self-storage facilities that would not require and utilities, and they are looking at property in the Business Districts that do have full utilities available. Self-Storage is not the highest and best use for fully developed properties. The B-2 District allows storage facilities by a Conditional Use Permit. Staff recommended either removing the use all together or to issue a moratorium.

Motion by Lundeen, Seconded by Bergley to removing self-storage facilities from the B-2 district. Motion passed 7-0.

B. Comprehensive Plan Update – Lorsung presented the staff memo on the proposed project timeframe for the Update. Presentations of draft Plan Chapters would begin in May, 2019, with the Public Hearing on the Updated Comprehensive Plan scheduled for March, 2020. Staff will proceed with the project timeline as presented and to post on the City's webpage.

6. Adjournment

Motion by Lundeen second by Bergley to adjourn the May 21, 2019 meeting of the Planning Commission. Motion was approved 7-0.

The meeting adjourned at 9:12 p.m.

Respectfully submitted,

Sheila Sellman
Community Development Director



MEMO

To: Chairman Johnson and Planning Commission
From: Don Lorsung, Assistant City Administrator / Special Projects
Date: May 28, 2019
Subject: Public Hearing - Amendment to Zoning Ordinance No. 445, Section 7 Business Districts, Article Two "B-2" General Business District, to remove Self storage facility as a Conditional Use

Background

At its May 21, 2019 meeting, the Planning Commission reviewed concerns by staff regarding inquiries by developers regarding potential placement of self storage facilities in the B-2 General Business District. The use is currently a Conditional Use in that business district. The locations that the developers are looking at are guided and zoned for high density commercial development with full utilities in the B-2 district. Discussion was had whether the use was appropriate for the District and whether the Planning Commission desired to consider a moratorium until the Comprehensive Plan was updated, or amend the zoning ordinance to remove self storage facility as a conditional use in the B-2 district. The Planning Commission directed staff to pursue amending the zoning ordinance to remove the use. Therefore, a public hearing has been called regarding this matter.

Public Notice:

Notice of the text amendment was published in the County News Review on June 6, 2019.

Public Comment:

No public comment had been received regarding the proposed text amendment prior to the release of the staff memo.

Proposed Zoning Ordinance Amendment

Attached for Planning Commission review and recommendation is a draft ordinance amending Zoning Ordinance No. 445, Section 7, Article Two, Subdivision 3; Conditional Uses; removing Self storage Facility.

Review of Amendments

When reviewing any zoning ordinance text amendment or zoning map change, the Planning Commission must consider and make findings based on the following factors, as provided within the Zoning Ordinance:

Section 21 Administration and Enforcement, Article 1: Text and Map states:

“D. The Planning Commission shall conduct a public hearing and report its findings and make recommendations to the City Council. The Planning Commission shall consider possible adverse effects of the proposed amendment. The judgement of the Planning Commission with regard to the application shall be based upon, but is not limited to, the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Plan, including public facilities and capital improvement plans.
2. The proposed action meets the purpose and intent of this Ordinance or in the case of a map amendment; it meets the purpose and intent of the individual district.
3. There is adequate infrastructure available to service the proposed action.
4. There is adequate buffer or transition provided between potentially incompatible districts.”

Staff Request

Staff is requesting a recommendation from the Planning Commission on the proposed text amendment. The Planning Commission’s recommendation will be forwarded to the City Council for their consideration at their July 2, 2019 meeting. A draft copy of the Findings of Fact and Conclusion has also been included for Planning Commission review.

Options & Proposed Motion Language

1. Recommend Approval with No Changes: Motion to recommend approval of the Amendment to Ordinance No. 445, Section 7 Business Districts, Article Two “B-2” General Business District (GBD) to remove Self storage facility as a Conditional Use.
2. Recommend Approval with Changes: Motion to recommend approval of the Amendment with the following changes....
3. Recommend Denial: Motion to deny the Amendment.
4. Table: Motion to table consideration of the Amendment (a specific reason and further information request from staff should be included in the motion to table).

Attachments

- Proposed draft Ordinance
- Findings of Fact and Conclusion

ORDINANCE NO. ____

**AN ORDINANCE AMENDING ORDINANCE NO 445 ZONING;
SECTION 7 BUSINESS DISTRICTS, ARTICLE TWO “B-2” GENERAL BUSINESS DISTRICT,
SUBDIVISION 3: CONDITIONAL USES, TO REMOVE SELF STORAGE FACILITY AS A
CONDITIONAL USE**

THE CITY OF ISANTI DOES ORDAIN:

I. AMENDMENTS

Ordinance No. 445, Zoning, Section 7: Business Districts, Article Two “B-2” General Business District, Subdivision 3 Conditional Uses shall be hereby amended to delete the following:

Z. Self storage facility

II. AMENDMENTS

Ordinance No. 445, Zoning, Section 7: Business Districts, Article 2 “B-2” General Business District, Subdivision 3 Conditional Uses shall be hereby amended and subsequently re-numbered with the previous amendment of this Section of the Ordinance.

III. EFFECTIVE DATE

This ordinance shall take effect upon its adoption and publication in the City’s Official Newspaper.

Adopted by the City Council this 2nd day of July 2019.

Mayor Jeff Johnson

ATTEST:

Katie Brooks, Human Resources/City Clerk

FINDINGS OF FACT AND CONCLUSION

Request

Request of the City of Isanti, to Amend Ordinance No. 445: Zoning Ordinance, Section 7 Business Districts, Article Two, "B-2" General Business District, Subdivision 3: Conditional Uses, to remove Self Storage facility as a Conditional Use.

Findings of Fact

1. Inquiries have been made as to siting of Self Storage facilities in the B-2 General Business District. Said inquiries have been made on sites with developed street systems and full utilities.
2. Upon review and research on the issue, staff has found that the proposed use is inappropriate in the B-2 General Business District; since the zone is guided for higher density commercial development enhancing tax base and employment opportunities.
3. Self Storage facilities tend not to generate equivalent tax base and significant employment opportunities as do other higher density commercial development. Nor do they utilize full utility systems that are installed.
4. Staff has prepared an amendments to the existing Zoning Ordinance to remove Self storage facility as a Conditional Use in the B-2 General Business District.
5. The Planning Commission reviewed the item and called for a public hearing on May 21, 2019.
6. The Planning Commission held a public hearing on June 18, 2019.

Conclusions

1. The proposed amendment would appear to be consistent with the Comprehensive Plan and in the best interest in the City of Isanti, for reasons set forth in the findings of fact above.

Decision

The Planning Commission reviewed the item at a public hearing on **June 18th, 2019**. Motion by _____, second by _____ to recommend approval of the amendment to Ordinance No. 445: Zoning Ordinance, Section 7, Business Districts, Article Two, "B-2" General Business District, Subdivision 3: Conditional Uses, to remove Self storage facility as a Conditional Use. Motion was _____.

The City Council reviewed the request at the **July 2, 2019** meeting.

Conditions

There were no conditions on the approval.

A Community For Generations.



Memo

To: Chairman Johnson and Planning Commission
From: Sheila Sellman, Community Development Director
Date: June 6, 2019
Subject: 2030 Comprehensive Plan Update- Chapter 2, The Community

Introduction / Current Conditions:

The City of Isanti has gone through significant change since the 2007 Comprehensive Plan was completed. The plan at that time recognized that residential growth was slowing, but it did not anticipate the Great Recession. The Great Recession effectively stopped residential growth and placed the City in a protective mode, as many single-family homes were vacated as a result of foreclosures. At the height of the foreclosure crisis in April, 2010, 171 homes were at some point in the foreclosure process. Since that time, homes have been re-occupied and substantial residential growth has returned to the City. Most of the residential lots that were developed in the early 2000's that were still vacant after the Great Recession, have been built on. Development of new residential subdivisions is taking place to add lots. Commercial and industrial development has continued, providing the City with new amenities (ex. Medical Clinic) to serve the growing City and employment opportunities for residents.

This Chapter focuses on existing conditions and trends with population and households. These projections are used as the basis for comprehensive plan elements to ensure the validity of the plan. The Chapter describes those living in Isanti now and those projected to be living in the City in 2030 through the use of demographics and research. This Chapter also provides updated information on City facilities that serve residents and finishes with a review of intergovernmental relationships that affect the City of Isanti.

Population Trends:

A review of past populations and future projections summarize what has occurred and what range of growth can be expected for the City of Isanti. In order to get accurate projections, research had to be undertaken to review census and demographic information, coupled with building permit and registered voter numbers. Based on this research, population projections can be made through the next 10 years and beyond.

Attached is Figure 2-1, displaying the projected population for the City through 2040. The graph shows the State Demographer's estimates, a straight-line projection, which is a projection based on the average number of people added per decade and a line showing exponential growth, which is based on the percentage of growth per decade, both since 1980.

The State Demographer has projected lower growth for the City of Isanti, although the Twin Cities Metropolitan Area is projected to continue fast pace growth, with an increasing demand for housing. Staff believes that the more realistic projection of population is near the straight-line projection. The variable will be household size, which is expected to move downward. As with any projection, the number should be updated as new population data becomes available.

Household Trends:

Household size is tied to changing population groups over time, as well as the availability of suitable housing. With Isanti’s proximity to the Twin Cities Metropolitan Area Highway 65 access, and lower housing prices, make Isanti a desirable place for young families. This reflects in current higher than average household size. Over time those household sizes will decrease, as there will be an increasing Senior population in the City. The availability of adequate housing for growing families and Seniors will also play a role in ultimate household size. The table below shows our projected range for Persons Per Household in the next 10 years.

<u>Year</u>	<u>Household Size</u>	<u>Persons Per Household</u>
2005	2.83	1,608
2010	2.79	1,882
2015	2.78	1,977
2020	2.77	2,255
2030 low	2.45	2,291
2030 mid	2.45	2,805
2030 high	2.45	3,785

Using the mid-range forecast, Isanti would gain an average of 55 households per year for the next 10 years.

Population by Age:

A review of population group ages shows the trend of Isanti’s population over time. Attached is Figure 2-2 which displays the population age group by age and years. As you see, for the next 10 years, Isanti is projected to retain a large cohort of age grouping that reflects younger families and an increasing Senior population. The increased Senior population reflects the aging of baby boomers. It also reflects in-migration of Seniors to Isanti from rural areas, as they prefer a small-town environment yet desire to be closer to their families in the metro area. The graph also reflects the aging of the millennial generation. The development of additional “step-up housing” for millennials will be needed to retain those populations in the City. Additionally, improvement and maintenance of community facilities, such as parks and recreational facilities, will be needed to attract and retain families in Isanti.

Other Demographic Characteristics:

As Isanti is projected to continue its growth, the City will also become more diverse. Their needs and the emphasis to have an inclusive community should be included in policy considerations. In 2000, the City of Isanti was 97% percent white. That number has decreased to 94.7% in 2018. Hispanics make up the next highest percentage of population (3.2%), followed by those identifying as two or more races (2.3%).

Objectives:

Several community goals are listed in Chapter 1 that reflect the changing population and demographics in Isanti. Consideration of the goals will help to build a unique and desirable community to live in and assist in meeting the needs of a changing citizenship. Listed below are those that correlate to the demographic change in the City.

- Recognize the assets of citizens of all ages, incomes, faiths and cultural heritages.
- Continue to find ways to educate the public on cultural, economic, faith, age-based and other diversity issues.
- Encourage increased interaction and communication between citizens of all ages, faiths, cultural heritages and incomes.

Community Facilities:

The Community Facilities section of the 2007 Comprehensive Plan overviewed public buildings, their functions and services, private and public schools, churches and private services in the City. As the City grows, these facilities need to be reviewed periodically to evaluate the need for expansion or renovations to serve the needs of new residents. A review of the City's demographics over time will also assist in determining if changing needs warrant changes in City services and facilities. This Comprehensive Plan Update will focus on the City's facilities, their current status and what may be required during this planning time period.

City Hall

Isanti City Hall is located at 110 First Avenue NW and was constructed in 2005. It has a large City Council Chambers that is used for city meetings and related events. The City Offices were constructed to be internally expanded to meet the needs of a growing City. To meet new needs the parking area was expanded in 2014 to include public parking behind City Hall and to connect to an upgraded parking lot at the Isanti Community Center. From a facilities planning standpoint, the existing building should be adequate to house City administrative staff through 2030

Community Center

The Isanti Community Center continues to serve as a location for City programs, civic organizations and private events. Activities range from City Movie Nights in the fall/winter, meeting space for service club and youth organizations, to daily Senior Dining. The facility is highly utilized by the community. The community center was renovated in 2014, with interior, building and parking lot upgrades. As those improvements and the building continues to age, capital improvement planning should be done for a needed repair, with consideration of a future expansion or a new facility. This building, as well as future site land needs, should be evaluated and included in future facility planning.

Isanti Indoor Arena

The Isanti Indoor Arena was constructed in 2015 and is the home of Rum River BMX. The arena is 73,000 sq. feet in size and developed for bicycle motocross racing. This facility was built by the City based on a partnership with Rum River BMX, which has a long-term use lease with the City.

It is the premier enclosed bicycle motocross facility in the State. The facility also contains park restrooms for the adjacent Bluebird Park and an ice-skating warming facility for the City pleasure rink.

Public Safety Building

The Isanti Police Department and Isanti Fire District share this building. The Isanti Fire District has a lease with the City for their space, and utilizes it for District administrative offices and housing of emergency response apparatus and vehicles. The Police Department moved into the facility in 2006, with a newly remodeled main staff room and office space. The current Police Department space, while adequate for current operations, is fully used by the current staff. The building itself, constructed in 1982, is structurally sound but is aging with maintenance needs. This building should also be included in future facility planning.

Public Works Maintenance Building

This building houses the Public Works Department that provides a myriad of services to the City, from snow removal, parks and street maintenance, to utilities that are not located elsewhere. The primary building is over 20 years of age and is in good condition. As operations have expanded and more equipment added; interior renovations have been made to make the building more functional. Also, the need for more heated and cold storage has been planned for and a new building will be constructed on site within the time period of this comprehensive plan update. This building is also planned to serve off-site storage needs for the Police Department.

Utility Treatment Plants

The City's sewage treatment plant was originally constructed in 1997. It is a combination mechanical and aerated pond facility, and has been recently updated through consolidation of primary treatment operations at the main plant site. While it is anticipated that the capacity of the current plant is adequate for near term needs, the increasing standards for treated water discharge in the Rum River, and potential need for land currently used for treatment ponds for future industrial use are leading to more plant upgrades and consolidation of the facility in a smaller site. That will require upgrading the treatment facility to a full mechanical plant. That project is being planned for within the time period of this comprehensive plan update.

The City's water treatment plant, built in 2009, provides filtration and processing for City water to meet State standards. The facility has had some improvements since it began operations. The plant should provide adequate finished water production for this planning time period. However, as the City expands east and south the need for water pressure and storage may prompt the need for a new water tower. Engineering studies will need to be done to provide guidance on placement of a new water tower.

Schools in Isanti

Schools included in the 2007 Comprehensive Plan included: Isanti Primary School, Isanti Intermediate School and Isanti Middle School. All are facilities of the Cambridge-Isanti School District. Since that plan was prepared, a facility addition/performance area was added at the Isanti Middle School, internal improvements were made at the Isanti Primary School and parking areas

have been modified to improve traffic flow and utilization at all three schools. No additional new District facilities have been developed in Isanti.

New Schools

Arts & Science Academy

The Arts & Science Academy, a K-8 educational facility, was founded at 903 6th Avenue Court NE in 2014 with 12 classrooms. Since then, the Academy added a separate Middle School which includes both classrooms and a combination cafeteria/gymnasium at 1005 7th Avenue NE which opened in 2017. The schools have approximately 360 students. The student teacher ratio is 12 to 1. The Academy partnered with the City of Isanti in development of Academy Park located at 901 6th Avenue Court NE, which serves the school when in session and is a public park facility for the neighborhood.

St. Scholastica HSC Academy

St. Scholastica Academy is a private Catholic school with grades 1-12, located at 207 Whiskey Road NW. It opened in 2016 and has approximately 45 students with a student teacher ratio of 8-1. The Academy utilizes classrooms and cafeteria facilities located in St. Elizabeth Ann Seton Catholic Church.

Churches

Churches in the 2007 Comprehensive Plan included: Elim Baptist, Faith Lutheran, St. Elizabeth Ann Seton, and Harvest Christian Evangelical. Since then Elim Baptist has become New Hope Community Church. Harvest Christian Evangelical has moved and their facility has been re-opened as The Journey New Life Church.

Community Facility Objectives:

After a review of City facilities and the 2007 plan regarding other community facilities, the following objectives from Chapter One are included here for additional consideration in this planning time period.

- Consider facility planning for future City facility needs. Identify sites for future facility locations
- Create conceptual future master plans for planned growth areas that will identify, map and preserve future utility corridors.

Intergovernmental Organizations and Relationships

As recognized in the 2007 Comprehensive Plan, City boundaries will continue to grow and change as new residential and commercial/industrial development extends to areas beyond the present corporate boundaries. The City recently completed annexation of a number of residential parcels that were surrounded by City boundaries. It is anticipated that future annexations to the City will be petitioned by their property owners at the time of development. Coordination of such annexations and planning with Township and County officials would be optimal. The City has an orderly annexation agreement with Isanti Township for certain property in the existing Tier 1 zoning area.

The City will be moving beyond the Tier 1 area in the future so joint planning with the County and Township is not only desired, but necessary. Expansion of the Tier 1 area should be explored.

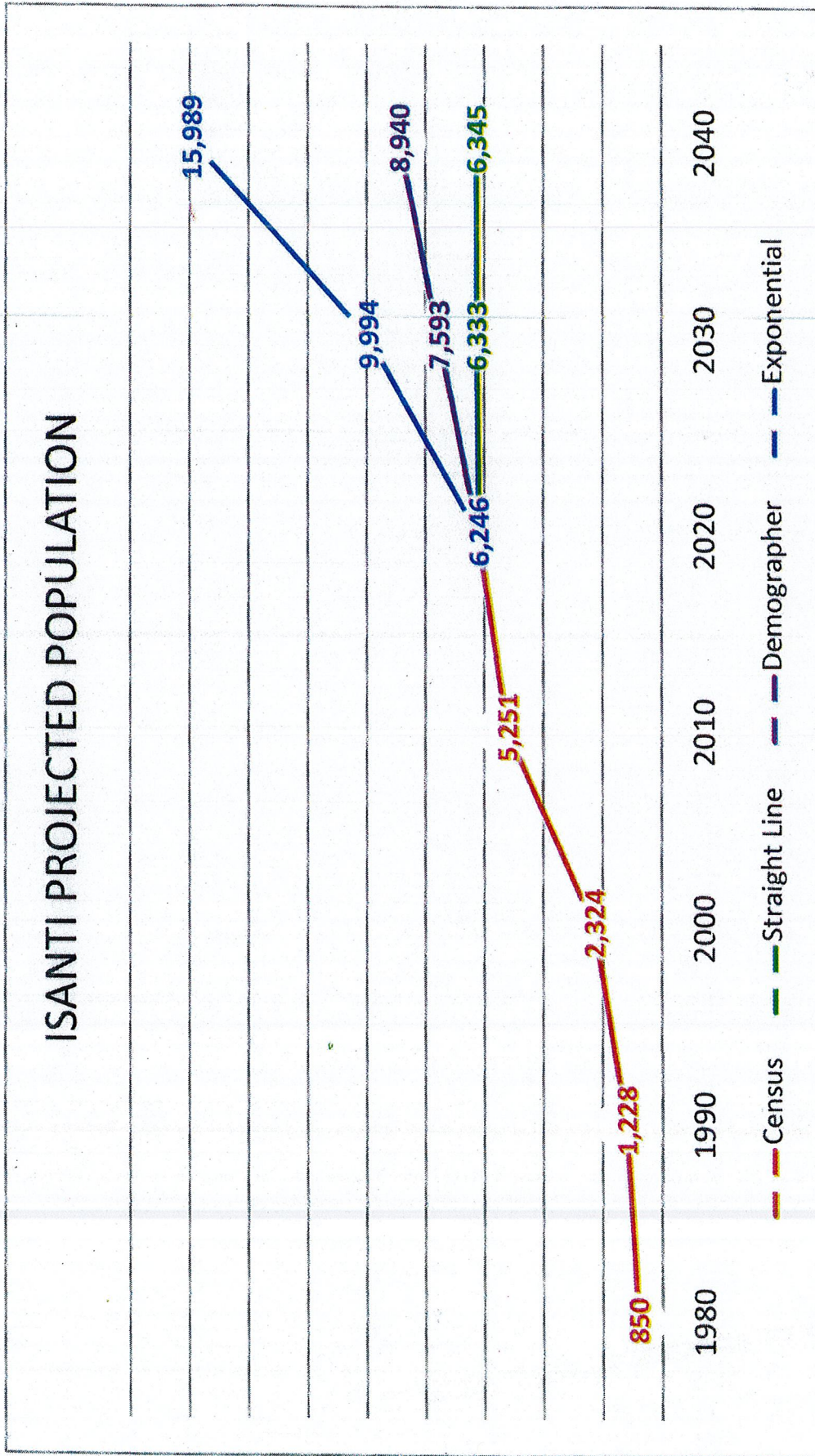
Participation with Isanti County, Isanti Cities and the Cambridge-Isanti School District in the ICICLE organization may also assist with joint development planning. Communication and relationships will assist in cohesive planning and development in future years. Opportunities for shared services should also be reviewed and considered if they would improve city services to the citizens of Isanti

Intergovernmental Organizations and Relationship Objectives:

The following objectives are specific measures that should be considered in light of the information in this Chapter:

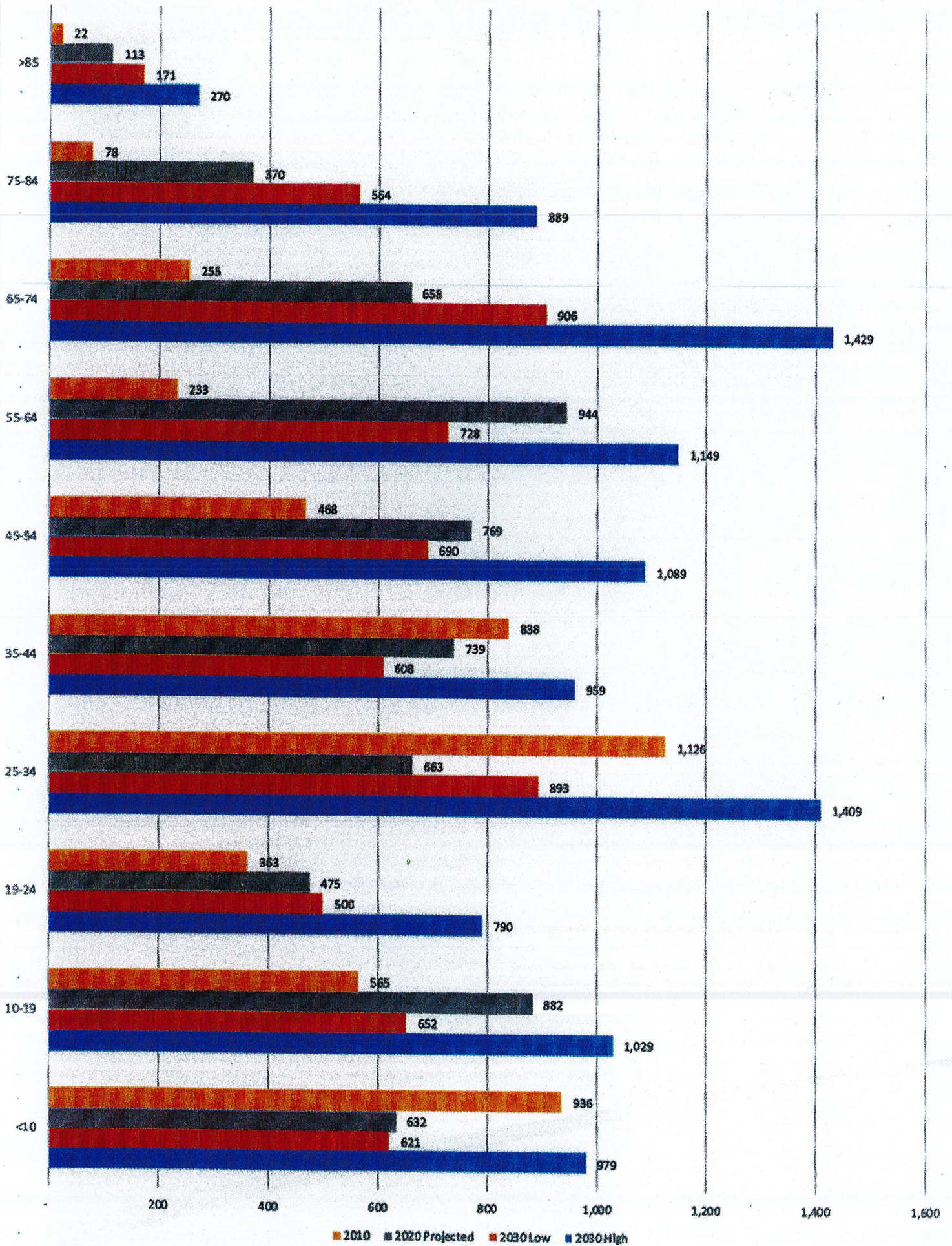
- Work with adjacent Townships, municipalities and the County to ensure that planning goals, objectives and policies are understood and accepted.
- Communicate and educate local officials regarding City development projects that affect adjacent townships, municipalities and the County.
- Work with adjacent local governments to identify areas where collaboration and consolidation could reduce overall cost and increase the effectiveness of local government.

Figure 2-1



Persons by Age, City of Isanti, 2010-2030

Figure 2-2





**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, July 16, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - E. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the June 18, 2019 Planning Commission Meeting

3. Public Hearings
 - A. Request from Everpine Land Holding for approval of a Site Plan required under City Ordinance 44, Section 18, Subd. 6 (D) and final plat under Article 6, Subd 1. Said request is for final plat of Legacy Pines 2nd Addition.

 - B. Request from Semler Construction, Inc. for approval of Preliminary Plat required under City Ordinance 536, Article 5, Subd. 1. Said request is to replat 32 townhome lots into 16 single family lots legally described as Lots 74, 75, 76, 77, 78, 79, 80, 81, 82, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97 Block 4 Villages on the Run.

4. Other Business

5. Discussion Items.

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
JUNE 18, 2019**

Call to Order: Chairman Johnson called the meeting to order at 7:26pm

Roll Call: Commissioners present: Chair Johnson Collison, Lundeen, Bergley, Gordon, Simon, Collins.

Members absent: none

Staff present: City Administrator Josi Wood, Assistant City Administrator Don Lorsung, Community Development Director Sheila Sellman.

Meeting Minutes: Motion by Lundeen 2nd by Collison to approve minutes from the May 21, 2019 Planning Commission meeting, motion passed 7-0

Public Hearings

- A. Request from City of Isanti to Amend Ordinance No. 445 Zoning; Section 7, Article Two, General Business District, Subdivision 3: Conditional Uses; to remove Self storage facility as a Conditional Use.

Chair Johnson opened the public hearing. Lorsung gave the staff report. There was no public comment at the Pubic Hearing. The pubic hearing was closed at 7:30pm.

Motion by Lundeen, 2nd by Simon to approve the amendment. Motion passed 7-0.

Other Business - None

Discussion Items

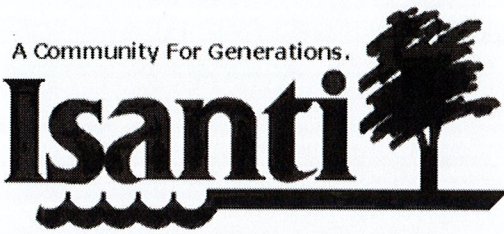
- A. Comprehensive Plan Update – Chapter 2

Lorsung handed out a corrected graph to the commission, the one in the packet was incorrect. Lorsung gave an overview of Chapter 2 of the Comp Plan update.

Adjournment: Motion by Bergley 2nd by Collins to adjourn at 7:40pm Motion passed 7-0.


Respectfully submitted

Sheila Sellman
Community Development Director



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director 

DATE: July 16, 2019

SUBJECT: Legacy Pines 2nd Addition – Final Plat and Site Plan

Request

The Applicant, Everpine Land Holdings is requesting a Final Plat and Site Plan Review for Legacy Pines 2nd Addition. The proposed final plat contains 33 single family lots.

Overview/Background

In 2018 Odyssey Homes Inc received approval of a Preliminary Plat for Legacy Pines Addition. The Preliminary plat showed the entire site developed in phases to include 177 lots. The first phase is platted with 49 lots. The second phase is proposed to plat 33 lots. Each phase will require a final plat and a development agreement.

Analysis of Application

The subject site was originally part of the Villages on the Rum Planned Unit Development. Legacy Pines development is a “re-plat” of this development therefore, the aforementioned development agreements and PUD requirements remain with the property. The PUD allows for varying lot sizes and setbacks.

Zoning-The subject site is zoned R-1/PUD. The PUD Master Plan sets the parameters for lot size, setbacks, house size etc. Minimum requirements not spelled out in the PUD Master Plan will divert back to the Zoning Code for R-1. As proposed Phase 2 is consistent with the PUD. Section 15 of the zoning code requires all residential lots to have tow (2) trees per lot. lots that are 8,000 square feet or larger must provide three (3) trees and corner lots 12,000 square feet or larger require four (4) trees.

Legacy Park- Access to Legacy Park should be maintained during development. The applicant has indicated they will provide access through Lot 7 Legacy Pines Addition. With the second phase the parking lot should be developed at the sole cost of the developer. The parking plan should be approved prior to commencing.

Comprehensive Plan – This proposal is consistent with the City’s 2008 Comprehensive Plan Future Land-Use Map, which identifies this parcel as low and medium density residential for future development.

City Engineer Comments – The City Engineer’s memo is attached. With minor revisions laid out in the report Engineering is recommending approval.

Isanti Fire Comments – The Fire Chief has reviewed the proposed plat and has no concerns.

Staff Recommendation

Staff recommends the following Motion:

Move to approve the Site Plan and Final Plat for Legacy Pines 2nd Addition with the following conditions:

1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms for the remainder of the development. Subsequent developments will require additional Development Agreements as the property is built out. Development fees will be charged to the developer at the time of each development agreement and based upon the City Fee Schedule.
2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. Any and all costs associated with the recording and processing of each subsequent Final Plat for additional phases shall be assumed by the developer.
4. The home sizes shall be consistent with Resolution No. 2010-111, amending the original PUD.
5. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet; however, when adjoining principal buildings existing at the time of construction on a vacant lot, the required front yard setback for the new structure shall not be greater than the average front yard setbacks of the building on either side of the vacant lot.
Side yard setback:	Ten (10) feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
6. A tree preservation plan shall be prepared by the developer and submitted to the City of Isanti for those portions of the development site that have significant tree stands. Such plans shall show the locations of homes and grading for these lots, so as to protect as many of these trees as possible. Trees shall be planted on each lot according to Section 15 of the City Zoning Ordinance.
7. Dedication, if required, of utility and access easements are granted to the City of Isanti.
8. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances.
9. Access to Legacy Park shall be maintained during construction and the parking lot shall be developed by the developer.
10. Address items/conditions identified in the Memorandum from City Engineer Jason Cook dated June 26, 2019 to CD Director Sheila Sellman.

Attachments

- Findings of Fact
- City Engineer Memo
- Fire Chief Memo
- Resolution 2010-111
- Proposed Plat

FINDINGS OF FACT AND CONCLUSION

Request

Request from Everpine Land Holdings, for Final Plat Approval of Legacy Pines 2nd, legally described as Outlot A of Legacy Pines Addition, Isanti County, Isanti, Minnesota.

Findings of Fact

1. The applicant, Everpine Land Holdings (“the applicant”), had made an application for Preliminary Plat Approval of Legacy Pines, Isanti County, Minnesota. Said Preliminary Plat was approved through City of Isanti City Council Resolution No. 2018-251.
2. The applicant has made an application for a Final Plat Approval of Legacy Pines 2nd Addition, Isanti County, Minnesota.
3. The property is legally described as Outlot A of Legacy Pines Addition, Isanti County, Isanti, Minnesota.
4. The Applicant is requesting Final Plat Approval in an effort to create 33 lots in the second phase of the development.
5. The property is zoned “R-1” Single-Family Residential/Planned Unit Development.
6. The Applicant submitted an application for Final Plat Approval on June 25, 2019. It was deemed complete on June 25, 2019.
7. A public hearing of the Final Plat took place before the Planning Commission on Tuesday, July 16, 2019 at 7:00 p.m. at City Hall within the Council Chambers.
8. The applicant has addressed or is in the process of addressing the conditions imposed by the City during the Plat review.

Conclusions

1. The platting of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the “R-1” Single-Family Residential.
2. The platting is consistent with the 2003 Development Agreement and Planned Unit Development (PUD) for this property, and is consistent with the 2010 PUD Amendment
3. The platting of the property would appear to meet the Design Standards as required by Ordinance No. 536.

Decision

Planning Commission Recommendation:

City Council:



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: June 26, 2019
To: Sheila Sellman, Community Development Director
From: Jason W. Cook, P.E.
City Engineer
Subject: Legacy Pines Second Addition - Engineering Review
City of Isanti, MN
Project No.: R13.117985

We have reviewed the Preliminary Plat, Final Plat, and storm water report entitled "Legacy Pines Second Addition" received on June 25, 2019 with a signature date of 6/11/2019.

The plat includes the construction of 33 single family lots, extension of city streets and utilities and site grading.

The original supporting documents submitted for Legacy Pines Phase 1 were reviewed and approved in 2018. Those documents included the submitted second addition area in the modeling and evaluations.

We have reviewed the newly submitted documents and have the following comments:

Preliminary Plat:

1. A temporary easement will be required over the temporary cul-de-sac at the end of Bellaire Blvd.
2. Street name "Bluebird Way" should be renamed – Bluebird Court or Circle.

Site Development and Phase 1 Construction Plans:

1. Proposed contours do not connect to anything at the end of Bluebird Way. (Sheet 12 of 19)
2. Proposed contours between lots 13 & 14 of Block 9 should direct swale along property line to pond PP-2, not west across lot 13. (Sheet 14 of 19)
 - a. Is this revised grading proposed to be completed with this phase?
3. Street lighting will be required. A light at the end of the Bluebird Cul-de-sac, along Bellaire Blvd, and specifically at the Legacy Park parking lot entrance at the City Outlot.

Permits (To be completed prior to construction):

1. NPDES - Construction Storm Water General Permit
 - a. Is the existing active permit set up to cover this work?
2. Minnesota Department of Health - Watermain Extension Permit
 - a. Were these services included in the previous permit?
3. MPCA – Sanitary Sewer Extension Permit
 - a. Were these flows accounted for in the previous permit?

We recommend approval of the submitted documents once the above items are addressed.

June 28, 2019

City of Isanti

RE: Legacy Pines 2nd Addition



Isanti Fire has reviewed the final plat of the Legacy Pines 2nd addition, and has no concerns moving forward related to fire safety.

Sincerely,

Alan Jankovich | Fire Chief
Isanti Fire District

RESOLUTION NO. 2010-111

A RESOLUTION APPROVING THE PRELIMINARY PLAT AMENDING THE PLANNED UNIT DEVELOPMENT KNOWN AS VILLAGES ON THE RUM 3RD ADDITION

WHEREAS, Premier Bank (“Developer”) has requested approval for a Preliminary Plat amending the Planned Unit Development known as Villages on the Rum 3rd Addition; and,

WHEREAS, such area is legally described as Parcel 1, Outlot A, Villages on the Rum Third Addition Replat, Isanti County, Minnesota; Parcel 2, Outlot B, Villages on the Rum Third Addition, Isanti County, Minnesota; and Parcel 3, the East 1090 feet of the North ½ of South ½ of NW ¼ of SE ¼ of Section 19, Township 35, Range 23, subject to existing road along the East boundary line thereof, Isanti County, Minnesota; and,

WHEREAS, following publication, posted and mailed notice thereof, a Public Hearing was held on May 11th, 2010, by the Isanti Planning Commission; and,

WHEREAS, the Isanti Planning Commission recommended to the City Council that the Preliminary Plat amending the Planned Unit Development be approved with conditions as presented by City staff; and,

WHEREAS, the City of Isanti has adopted Zoning and Subdivision Ordinances for the orderly, economic, and safe development of land within the City; and,

WHEREAS, the City Council of the City of Isanti has determined that the Preliminary Plat amending the Planned Unit Development with conditions, meets the ordinance requirements necessary for granting approval; and,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA, that it adopts the Findings of Fact and Conclusion related to the requested Preliminary Plat Approval Amending the Planned Unit Development known as Villages on the Rum Third Addition; and

BE IT FURTHER RESOLVED by the City Council of the City of Isanti, Minnesota that the requested Preliminary Plat amending the Planned Unit Development known as Villages on the Rum 3rd Addition, as legally described herein, be hereby approved, with the following conditions:

1. The developer will enter into a Development Agreement with the City of Isanti, which will outline the general terms for the remainder of the development. Subsequent Development Agreements would be required as each subsequent phase of the development is final platted. Development fees shall be charged to the developer at the time that each subsequent Development Agreement is signed based upon the City Fee Schedule.
2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti prior to development.
3. The developer shall deed “Outlot G” to the City of Isanti for future passive park and open space area.
4. Any and all costs associated with the recording and processing of each subsequent Final Plat for additional phases shall be assumed by the developer.

5. Upon development of the lots adjacent to the Isanti Brook area, signage shall be placed along the rear lot lines of property abutting Outlot G notifying property owners of the scenic easement.
6. The home sizes and location of those home sizes shall be in accordance with the Housing Size Location Plan. The following lots/blocks will be subject to the following home and garage sizes:
 - a. Lots 1-19, Block 1; Lots 1-5, Block 2; Lots 1-2, Block 3; Lots 1-14, Block 4; Lots 1-10, Block 13; Lots 1-3, Block 12; Lots 1-6, Block 11; Lots 1-13; Block 10; and Lots 1-4, Block 9 will be required to have a minimum of 1200 square feet of livable floor space above grade with a 600 square foot minimum floor area for the attached garage.
 - b. Lots 1-15, Block 5; Lots 1-31, Block 6; and Lots 28-38, Block 8 will be required to have a minimum of 1040 square feet of livable floor space above grade with a 480 square foot minimum floor area for the attached garage.
 - c. Lots 1-27, Block 8 and Lots 1-20, Block 7 will be required to have a minimum of 960 square feet of livable floor space above grade with a 400 square foot minimum floor area for the attached garage.
7. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet; however, when adjoining principal buildings existing at the time of construction on a vacant lot, the required front yard setback for the new structure shall not be greater than the average front yard setbacks of the buildings on either side of the vacant lot.
Side yard setback:	Ten (10) feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
8. A tree preservation plan shall be prepared by the developer and submitted to the City of Isanti for those portions of the development that still have significant or specimen tree stands. Such plan shall show the location of homes and grading for these lots, so as to protect as many of these trees as possible.
9. Any final engineering plans and specifications are subject to the review and approval of the City Engineer.
10. Any and all improvements shall be specified within the Development Agreement.
11. The Final Plat shall be phased into around nine (9) phases to consist of twenty (20) lots or so at a time.

Adopted by the Isanti City Council on this 18th day of May 2010.

Attest:

Mayor George A. Wimmer

Irene J. Bauer
Assistant City Administrator/City Clerk

(SEAL)

LEGACY PINES SECOND ADDITION

SEC. 19, T. 35, R. 23
ISANTI COUNTY, MN

KNOW ALL PERSONS BY THESE PRESENTS, That Everette Land Holdings LLC, a Minnesota Limited Liability Company, the undersigned, do hereby certify that this plat is correct and complete as shown on the plat and that the same is a true and correct copy of the original as shown on the plat and that the same is a true and correct copy of the original as shown on the plat and that the same is a true and correct copy of the original as shown on the plat.

Everette Land Holdings LLC
 STATE OF _____
 COUNTY OF _____
 My commission expires _____
 I, _____, Secretary
 do hereby certify that the plat is correct and complete as shown on the plat and that the same is a true and correct copy of the original as shown on the plat and that the same is a true and correct copy of the original as shown on the plat.

STATE OF _____
 COUNTY OF _____
 My commission expires _____
 I, _____, Secretary
 do hereby certify that the plat is correct and complete as shown on the plat and that the same is a true and correct copy of the original as shown on the plat and that the same is a true and correct copy of the original as shown on the plat.

STATE OF _____
 COUNTY OF _____
 My commission expires _____
 I, _____, Secretary
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STATE OF _____
 COUNTY OF _____
 My commission expires _____
 I, _____, Secretary
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STATE OF _____
 COUNTY OF _____
 My commission expires _____
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STATE OF _____
 COUNTY OF _____
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 COUNTY OF _____
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 COUNTY OF _____
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STATE OF _____
 COUNTY OF _____
 My commission expires _____
 I, _____, Secretary
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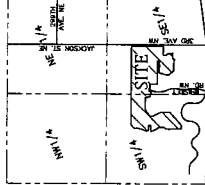
STATE OF _____
 COUNTY OF _____
 My commission expires _____
 I, _____, Secretary
 do hereby certify that the plat is correct and complete as shown on the plat and that the same is a true and correct copy of the original as shown on the plat and that the same is a true and correct copy of the original as shown on the plat.

I hereby certify that this plat has been checked and recommended for approval as to compliance with Chapter 505, Minnesota Statutes this _____ day of _____, 20____.

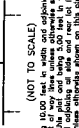
Recommended for approval this _____ day of _____, 20____.
 Isanti City Engineer
 Approved on to term and execution this _____ day of _____, 20____.
 Isanti City Attorney

I hereby certify that the laws for the year _____ on the property described herein have been paid and that there are no delinquent taxes and transfer entered on this _____ day of _____, 20____.
 Isanti County Auditor/Treasurer
 By _____ Deputy
 I hereby certify that this instrument was filed in the Office of the County Recorder for record on the _____ day of _____, 20____ at _____ o'clock _____ M. and was duly recorded in the Isanti County Records on Document No. _____
 Isanti County Recorder

VICINITY MAP
 SEC. 19, T. 35, R. 23
 NO SCALE



DRAINAGE AND UTILITY
 INFORMATION
 (NOT TO SCALE)

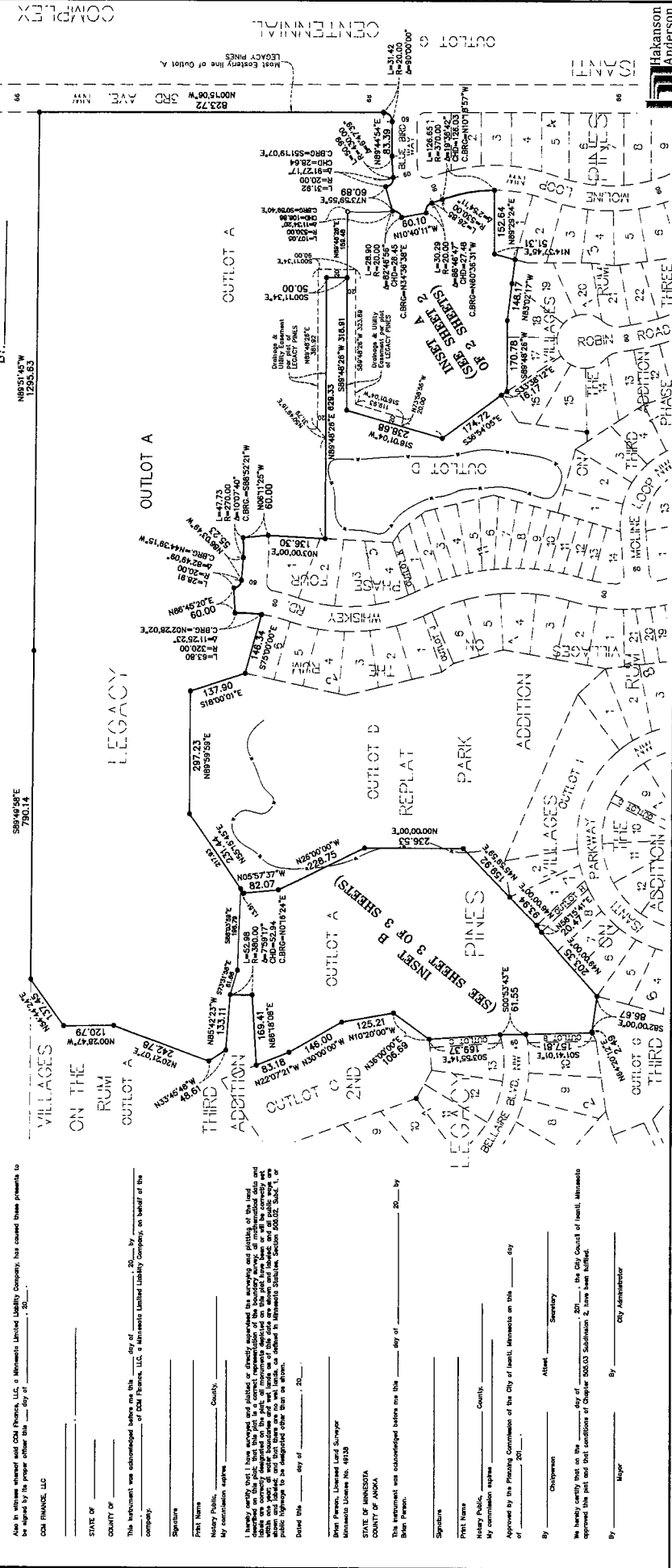


For the purposes of this plat, the most accurate location of the utility lines is assumed to be that shown on the plat.



1 INCH = 120 FEET
 SCALE
 0 120 240 FEET
 o Center of lot
 o Corner of lot
 o Device based on monument
 o Device based on monument
 o Device based on monument

RECEIVED
 JUN 25 2019
 BY _____

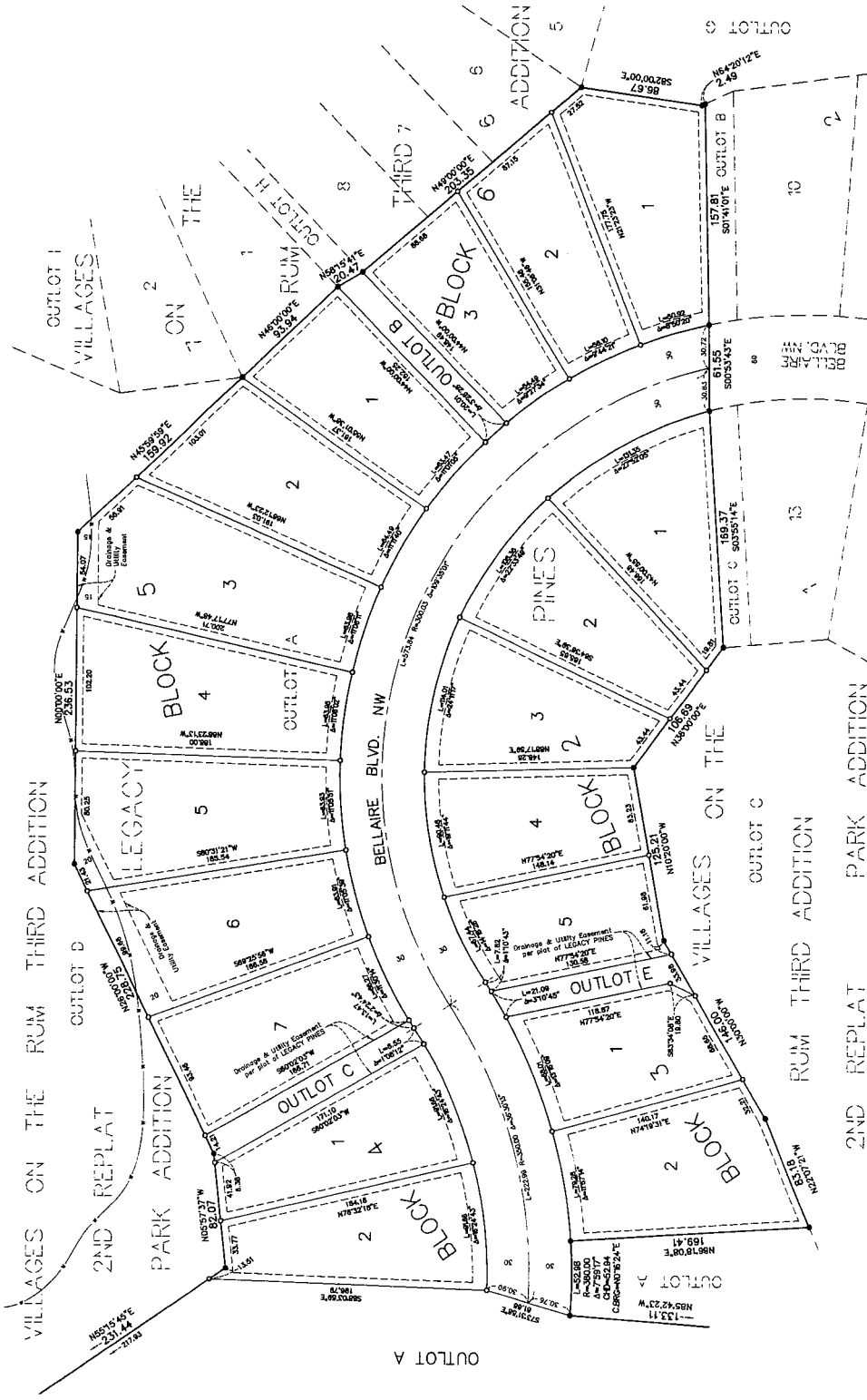


Hakanson
 Anderson

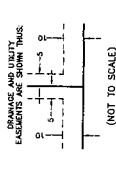
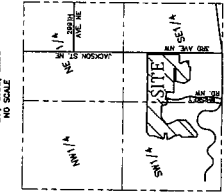
LEGACY PINES SECOND ADDITION

INSET B

SEC. 19, T. 35, R. 23
ISANTI COUNTY, MN

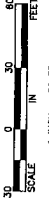


VICINITY MAP



(NOT TO SCALE)
Rights to any utility easements shown on this plat are subject to the terms and conditions of any applicable utility easement agreement or other plat showing such easements on this plat.

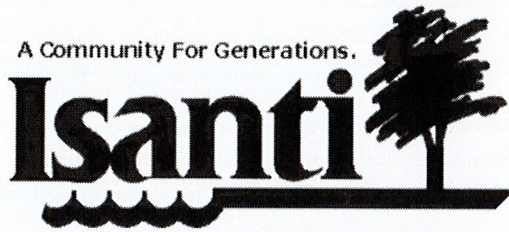
Corner monuments to this plat may be required to bear North 00°00'00" West.



- Corner monument with Minnesota License No. 49136
- Corner found from monument
- Dashed line edge of Subdivided Section




Hakanson
Anderson



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director 

DATE: July 18, 2019

SUBJECT: Villages on the Rum 6th – Preliminary Plat

Request

The applicant Semler Homes Inc is requesting approval of a Preliminary Plat, Villages on the Rum 6th addition to “re-plat” 32 townhome lots into 16 single family detached townhome lots.

Overview/Background

In 2002 Villages on the Rum development was approved, the overall development was 261 lots with a mix of housing types. Each housing style with approved with minimum requirements and are outlined in the original development agreement. Each phase of the development required a final plat and Development Agreement.

Analysis of Application

The subject 32 lots have been platted as attached townhome lots, meaning the buildings are attached. The applicant is requesting to replat these lots into 16 single family detached townhome lots, meaning single family detached houses are built and the common area is maintained by an Association. The applicant needs to establish their own Association or be part of the existing association, documents must be submitted to the city.

Zoning- The subject site is zoned R-3 Residential, as previously stated a development plan was approved for this development. As proposed the side yard setbacks requested vary from the development agreement, but maintain 10 feet in between buildings which still meets the intent of the agreement. The proposed setbacks are as follows: Front 5 feet, side 5 feet, rear 25 feet from the adjacent right-of-way and 10 feet in-between buildings. The original agreement called for 5-foot setback from the garage side to the lot line, and 10-foot setback from the house side lot line. Rear setbacks were not defined. Staff supports the proposed setbacks.

Housing Style- A detached townhome is also known as a “patio home” or “Bay Home” essentially meaning the house is not attached to another house but is standing alone on a smaller lot that is typically maintained by an association. According to the Original Development Agreement detached townhomes need to be at least 960 square feet of livable space above ground and the garage should be a minimum of 440 square feet, these requirements will apply to this development as well. The Architecture for these townhomes should be similar to a 1920’s-1940’s Vintage home, including Bungalow, Craftsman, Arts & Crafts, Victorian styles. The architectural styles of “Houses by Mail”, by Katherine Cole Stevenson are incorporated by reference. This book is available in the Community Development Department.

Landscape – As proposed the tree plantings meet city requirements, however the plantings are shown in common area, the applicant must provide written permission/agreement with the Association in order to plan said trees.

Comprehensive Plan- This proposal is consistent with the City's 2008 Comprehensive Plan Future Land-Use Map, which identifies this parcel as medium density residential for future development.

City Engineer Comments – The City Engineer's memo is attached. With minor revisions laid out in the report Engineering is recommending approval.

Isanti Fire Comments – The Fire Chief has reviewed the proposed plat and has concerns with the length of proposed Drive A and suggest the drive be connected to Isanti Parkway. The applicant should address this with the Fire Department before final plat approval.

Staff Recommendation

Staff recommends the following motion:

Move to approve the Preliminary Plat for Villages on the Rum 6th Addition with the following Conditions:

1. Final Plat and Site Plan approval shall be applied for within one year.
2. The Developer must enter into a development agreement with the City of Isanti.
3. Engineering comments/concerns in a memo dated July 10, 2019 to Community Development Director Sheila Sellman shall be addressed.
4. Fire Chief comments/concerns in a memo dated July 8, 2019 shall be addressed.
5. Written agreement/permission with the Association for tree planting shall be submitted to the City of Isanti.
6. Setbacks are as follows:
 - a. Front: 5 feet
 - b. Side: 5 feet, 10 feet in-between buildings
 - c. Rear: 25 feet from adjacent right-of-way
7. The housing architecture shall be similar to a 1920's-1940's Vintage home, including Bungalow, Craftsman, Arts & Crafts, Victorian styles. The architectural styles of "Houses by Mail", by Katherine Cole Stevenson are incorporated by reference. This book is available in the Community Development Department.

Attachments

- Findings of Fact
- City Engineer Memo
- Fire Chief Memo
- Preliminary Plat

FINDINGS OF FACT AND CONCLUSION

Request

Request from Semler Homes Inc, for Preliminary Plat Approval of River on the Rum 6th Addition legally described as Lots 74-97 Block 4, Villages on the Rum Addition, Isanti County, Isanti, Minnesota.

Findings of Fact

1. The applicant, Semler Homes Inc('the applicant'), has made application for Preliminary Plat Approval of Villages on the Rum 6th Addition, Isanti County, Minnesota.
2. The property is legally described as Lots 74-97, Block 4, River on the Rum Addition, Isanti, Minnesota.
3. The Applicant is requesting Preliminary Plat Approval in an effort to create 16 lots.
4. The property is zoned "R-3B" Medium Density Multiple-Family Residential
5. A preliminary plat is considered a major change requiring a public hearing and notification of all property owners within 350'; and final approval by the City Council.
6. The Applicant submitted an application for Preliminary Plat Approval on June 21, 2019. It was deemed complete on June 21, 2019.
7. A public hearing date before the Planning Commission was scheduled for Tuesday July 16, 2019 at 7:00 p.m.at City Hall within the Council Chambers.
8. Notices were sent to all property owners located within the development and within 350 feet of the subject property.

Conclusions

1. The Preliminary Plat is consistent with the Development Agreement for River on the Rum

Decision



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: July 10, 2019
To: Sheila Sellman, Community Development Director
From: Jason W. Cook, P.E.
City Engineer
Subject: Villages on the Rum Sixth Addition – Review
City of Isanti, MN
Project No.: R13.117985

We have reviewed the plan set entitled “Villages on the Rum Sixth Addition” with a signature date of 6/21/2019.

The plan includes the re platting of 32 existing lots into 16 proposed lots.

We have reviewed the submitted plans and have the following comments:

1. From an engineering perspective “Drive A” can be a shared use driveway. I defer to fire, police, and the post master regarding its designation. If it is determined it needs to be a street, it will need a street sign, curb & gutter and a turn around.
2. Sheet 4 of 5:
 - a. How will the existing sewer and water services be abandoned?
3. General Comment: The pavement section and curb type are not City standard. This is acceptable as a private roadway, but it would not be eligible to be turned over to the City in the future.

We recommend approval of the plans once the above items are addressed.

Please contact me if you have any questions.

July 8, 2019

City of Isanti

RE: Plan Review of Villages on the Rum Sixth Add.



Isanti Fire has reviewed the replatting of the 32 lots in Villages on the Rum, 6th addition and has identified the following concern.

- 1) Drive A dead ends after lots 13-16 on block 1. This is not preferable, and if greater than 150' in length is in conflict with MN State Fire Code.
 - a. A suggestion would be to continue Drive A through City of Isanti parcel 160961580 and intersect into Isanti Parkway. Doing this would be 2 part, 1) allow access to lots 13-16 and 2) ensure two fire access roads exist in the development.

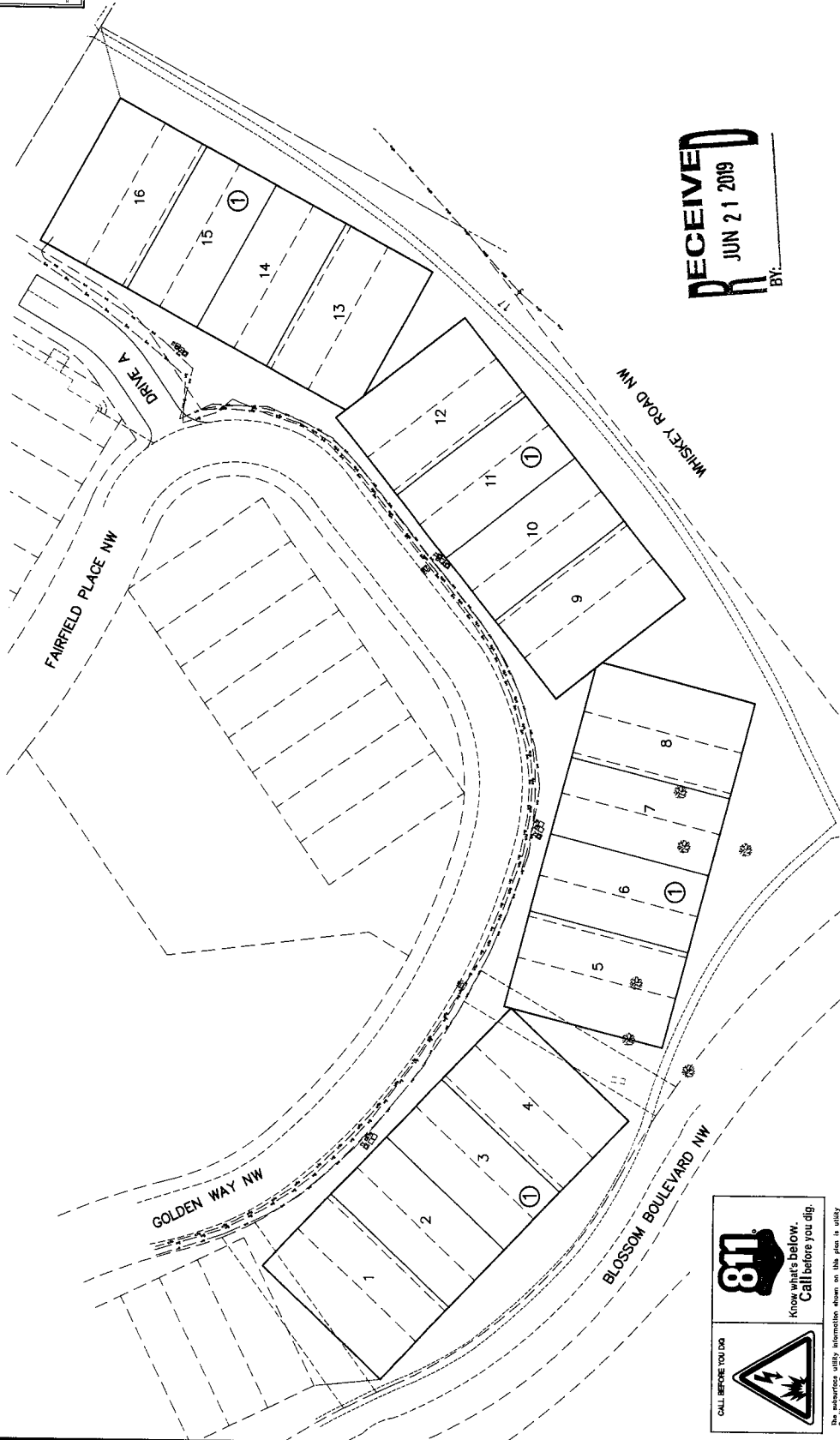
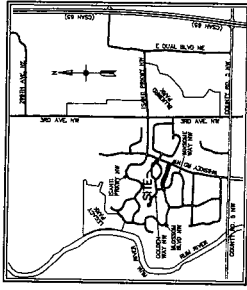
Isanti Fire sees no other concerns related to fire safety.

Sincerely,

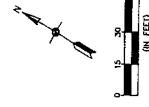
Alan Jankovich | Fire Chief
Isanti Fire District

VILLAGES ON THE RUM SIXTH ADDITION

ISANTI, MINNESOTA



- SHEET INDEX**
1. COVER
 2. EXISTING CONDITIONS
 3. PROPOSED LAYOUT
 4. SITE & UTILITY PLAN
 5. GRADING & EROSION CONTROL PLAN
 - L1. LANDSCAPE PLAN



BENCHMARKS	
1. Top Nail (Height) located by L&L #8.	Block = 11th Division = 541.52.
2. Block "A" NW (Station) by L&L #12.	Block "A" NW (Station) by L&L #12.

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 JUN 21 2019
 BY: _____

811
 Know what's below.
 Call before you dig.

The subsurface utility information shown on this plan is utility location information only. This information was determined according to the utility level 2. This information is not a guarantee of utility location for the location and depth of existing subsurface utility lines.

Carlson McCain
 environmental
 engineering
 architecture

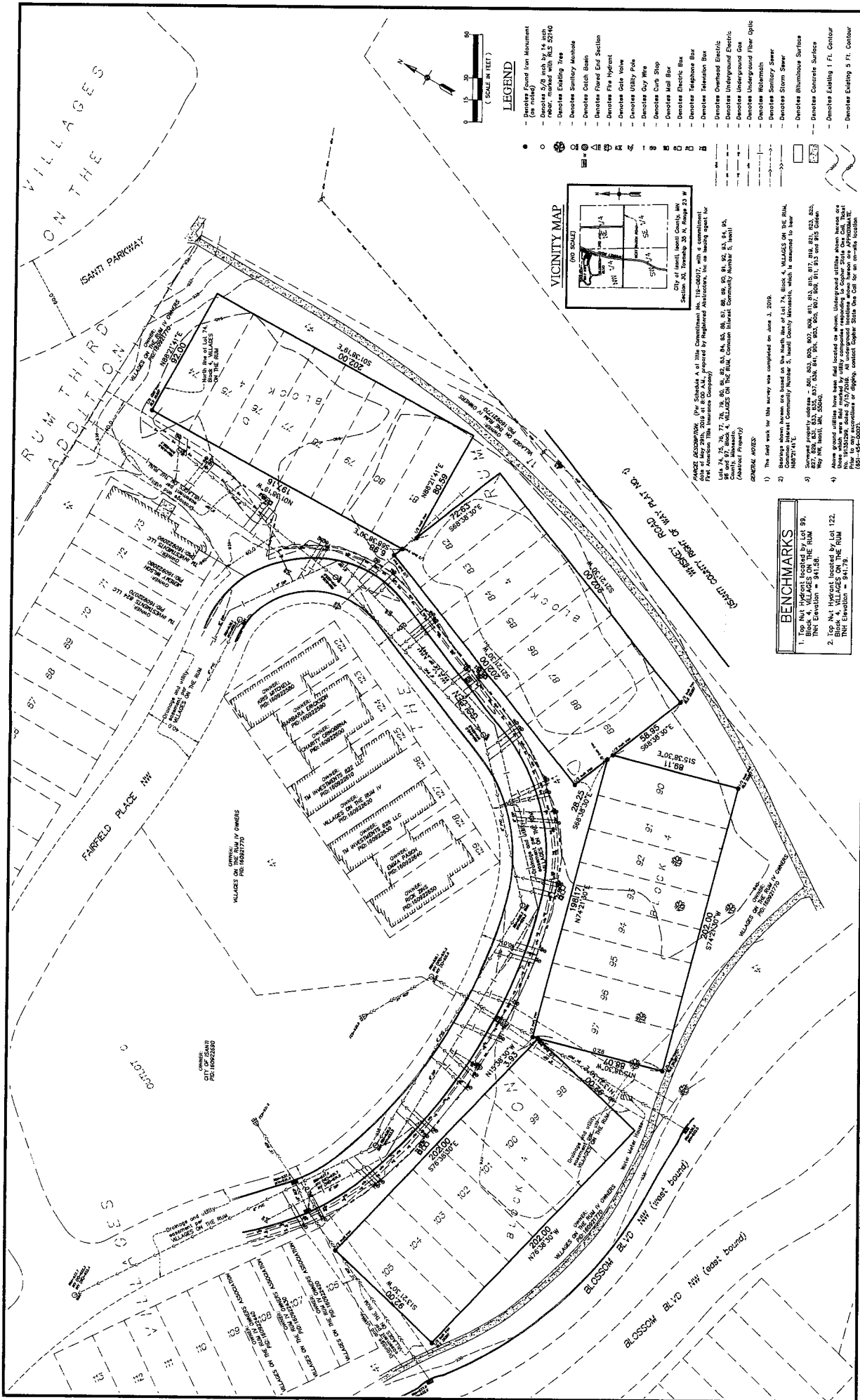
3850 Pleasant Grove Drive SW, Suite 100
 Blaine, MN 55419
 Phone: (763) 489-7999
 Fax: (763) 489-7999
 www.carlsonmccain.com

Professional Seal: *[Signature]*
 Date: 02/21/19 License #: 20263

Project: 000
 Prepared: MN
 Date: 02/19

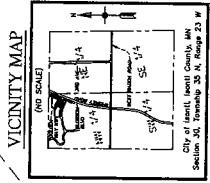
SEMLER CONSTRUCTION, INC.
 209 - 1st Avenue E
 Cambridge, MN 55008

VILLAGES ON THE RUM SIXTH ADDITION
 Isanti, Minnesota



LEGEND

- Denotes Found Iron Monument
- Denotes 2/8 inch by 14 inch rebar, marked with RLS 52146
- Denotes Existing Tree
- Denotes Sanitary Manhole
- Denotes Catch Basin
- Denotes Flashed End Section
- Denotes Fire Hydrant
- Denotes Gate Valve
- Denotes Guy Wire
- Denotes Guy Stop
- Denotes Mail Box
- Denotes Electric Box
- Denotes Telephone Box
- Denotes Telephone Pole
- Denotes Overhead Electric
- Denotes Underground Electric
- Denotes Underground Gas
- Denotes Underground Fiber Optic
- Denotes Watermain
- Denotes Sanitary Sewer
- Denotes Storm Sewer
- Denotes Bituminous Surface
- Denotes Concrete Surface
- Denotes Existing 1 Ft. Contour
- Denotes Existing 5 Ft. Contour



PROPERTY ACQUISITION: (Per Schedule A of Title Commitment No. 114-08017, with a commitment for the acquisition of the property interest in Block 4, VILLAGES ON THE RUM, Sixth Addition, Isanti, Minnesota, as shown on the plat of the subdivision, Block 4, VILLAGES ON THE RUM, Sixth Addition, Isanti, Minnesota, recorded in the County of Hennepin, Minnesota, at Record Book 218, Page 122. The plat is hereby incorporated by reference.)

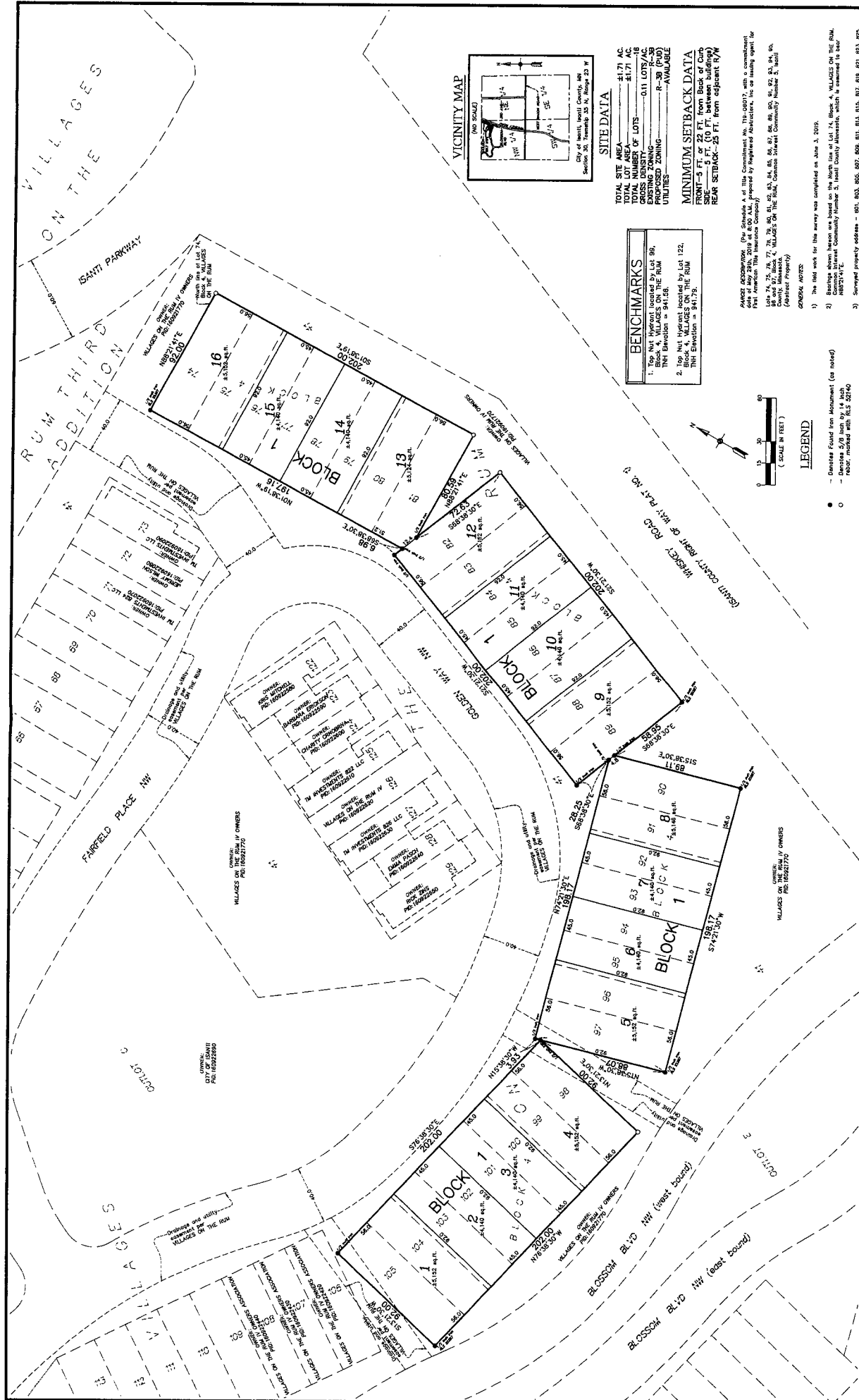
GENERAL NOTES:

- 1) The field work for this survey was completed on June 1, 2016.
- 2) Stationing shown below the centerline of the street is measured from the intersection of the street with the centerline of Isanti Parkway, which is measured to be 1182741.1.
- 3) Surveyed property vertices are 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
- 4) Above ground utilities have been field located as shown. Underground utilities shown herein are based on utility records provided by utility companies responding to Computer Aided Design (CAD) data for the project. Utility records are not guaranteed to be accurate. Utility records are not to be used for any other purpose. If you are in any doubt as to the location of any utility, contact the local utility company for an on-site location.

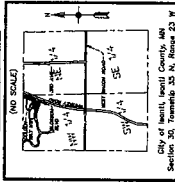
BENCHMARKS

1. Top Nail Hydrant located by Lot 99, Block 4, VILLAGES ON THE RUM, The Elevation = 941.38.
2. Top Nail Hydrant located by Lot 122, Block 4, VILLAGES ON THE RUM, The Elevation = 941.79.

<p>SEMLER CONSTRUCTION, INC. 209 1st Ave East Cambridge, MN 55008</p>	<p>VILLAGES ON THE RUM SIXTH ADDITION Isanti, Minnesota</p>
<p>Scale: 1" = 40' (Horizontal) Scale: 1" = 20' (Vertical)</p>	<p>DATE: 06/01/16 DRAWN BY: J. SEMLER CHECKED BY: J. SEMLER FILE NO.: 16020012</p>
<p>2 of 5</p>	



VICINITY MAP



SITE DATA

TOTAL SITE AREA - 41.71 AC
 TOTAL NUMBER OF LOTS - 0.11 LOTS/AC
 GROSS DENSITY - 0.11 LOTS/AC
 PROPOSED ZONING - R-39
 UTILITIES - AVAILABLE

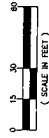
MINIMUM SETBACK DATA
 FRONT - 5 FT. or 22 FT. from Back of Curb
 SIDE - 5 FT. (10 FT. between buildings)
 REAR - 25 FT. from adjacent R/W

BENCHMARKS

- Top Nut Hydrant located by Lot 99, Block 1, Villages on the RUM, Twp. 35N, R. 23W, S. 30E, 1st 1/2 Sec. 30, 1/2 NW 1/4.
- Top Nut Hydrant located by Lot 122, Block 4, Villages on the RUM, Twp. 35N, R. 23W, S. 30E, 1st 1/2 Sec. 30, 1/2 SW 1/4.

GENERAL NOTES:

- The field work for this survey was completed on June 3, 2019.
- Blockings shown herein are based on the field notes of the surveyor, and are not intended to be a final record of the Common Interest Community Number 3, Villages on the RUM, Common Interest Community Number 3, Isanti County, Minnesota, which is recorded in the Public Record Office of Isanti County, Minnesota.
- Surveyed property address is 209 1st Ave East, Cambridge, MN 55008.



LEGEND

- Circle with dot: - Corner Found from Monument (as noted)
- Circle: - Monument
- Circle with cross: - Monument marked with RLS 2014

SEMLER CONSTRUCTION, INC.
 209 1st Ave East
 Cambridge, MN 55008

Carlsom McCain
 Environmental
 Surveying
 3500 Pleasant Ridge Drive NE
 Blaine, MN 55449
 Phone: (763) 489-7249
 Fax: (763) 489-7249
 www.carlsommccain.com

A Community For Generations.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
Wednesday, August 7, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - E. Agenda Modifications

2. Public Hearings
 - A. Request from Best Western Plus, for approval of a Site Plan Amendment, required under City Ordinance 445, Sect. 18, Subd. 2(A). Said requests is for a revised landscape Plan on PID 161460010.

3. Other Business

4. Discussion Items.

5. Adjournment



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: August 7, 2019

SUBJECT: Site Plan Amendment – Best Western Plus

Request:

Best Western Plus located at 409 Main Street E is requesting a site plan amendment. The amendment is for changes to the land scape plan.

Overview/Background:

Best Western Plus received city site plan approval in December 2017, included with that approval was the landscape plan. Below is a table is a summary of planting changes.

TYPE	Original Plan	Proposed Plan
Trees	34	23
Shrubs	91	38
Perennials and grasses	429	56
TOTAL	554	117

Analysis of Application:

A good portion of the proposed changes are on the backside of the hotel (Broadway Street side), other reductions include around the trash enclosure and directly in front of the building. Below are landscape requirements per city code:

Subdivision 5: Landscaping Requirements

Purpose. The purpose of this Subdivision is to provide specifications, which will guide landscaping within residential, commercial, mixed-use, and industrial districts; will provide buffering between different and more intense land uses; will ensure that native trees and vegetation are preserved and replenished ; will aid in the stabilization of the environment’s ecological balance by reducing storm water runoff and improving surface water quality; and will enhance the overall beauty and appearance of the City.

Parking Lot Landscaping.

- a. All parking lots containing over fifty (50) stalls shall be designed to incorporate unpaved, landscaped islands in number and dimension as required by the City. All landscape islands shall contain a minimum of 180 square feet.

- b. Islands, which are necessary to promote the safe and efficient flow of traffic shall be in addition to those required for parking lots with over fifty (50) stalls and shall be required by the City when warranted
- c. Parking lot landscape areas, including landscape islands, shall be reasonably distributed throughout the parking lot area so as to break-up expanses of paved areas.
- d. Parking lot landscape areas shall be provided with deciduous shade trees, ornamental trees, evergreen trees, ground cover, mulch and/or shrubbery as determined appropriate by the City Council. Parking lot landscaping shall be contained in planting beds bordered by raised concrete curbs. Alternative landscape options may include, but are not limited to natural prairie grass or rain gardens.

The proposed changes around the patios are significant, the code requires a buffer between different and more intense land uses. The patios face residential. while the proposed plantings will provide some type of a buffer it is not comparable to what was originally approved. The plantings on the back side of the building have been removed completely, this too was a nice buffer to Broadway Street.

Another area of notable change is around the trash enclosure. Three trees are proposed, whereas the approved plan had the same three trees and additional shrub plantings, which helps in screening the enclosure.

Staff Recommendation:

Staff does not support the proposed changes. The Commission should consider the residential use and screening while reviewing the request. If the Commission would like to give some concession staff would recommend leaving the screening around the patio and trash enclosure as approved and modify the building plantings and island plantings.

Attachments:

Approved Landscape Plan
Proposed Landscape Plan
Letter from the Applicant

The development team would like to request an Amendment to our approved landscape plan for the Best Western Plus project. The original landscape design, although expressing a complete build-out of a multi-layered landscape, as well as fulfilling the requirements of the City, did not take into account the nature of the Owner's planned exterior maintenance regiment, nor allow areas for future landscape interventions and updates.

We feel the amended layout accomplishes the city's goals as completely as the original version and still allows the Owner flexibility for the future.

Both the original plan and the amended design provides:

- the same number of shade and evergreen trees as is shown on the approved plan
- shade trees for the parking lot
- screening along the western property line
- screening at the trash enclosure and near the building utilities enclosure
- screening at the two south patio areas
- a completed "street tree" treeline along the southern side of the property

As mentioned above, we have removed mainly perennial planting beds, none of which is explicitly required by the City, which would be replaced with lawn areas or a rock maintenance strip directly at the building wall.



Managing Partner
Isanti Hotel Partners LLC



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, August 20, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - E. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the July 16, 2019 Planning Commission Meeting

3. Public Hearings
 - A. Continued from August 7, 2019 - Request from Best Western Plus, for approval of a Site Plan Amendment, required under City Ordinance 445, Sect. 18, Subd. 2(A). Said requests is for a revised landscape Plan on PID 161460010

4. Other Business
 - A. Request from Jeff Pfeffer for a Final Plat of Sun Prairie 5th Addition under City Ordinance 536 Article 6 for property described as Outlog J, Sun Prairie first Addition

 - B. Comprehensive Plan Update – Chapter 3, Housing

5. Discussion Items.

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION MEETING
Tuesday, July 16, 2019
Minutes**

Call to Order: Chairman Johnson called the meeting to order at 7:28pm.

Roll Call: Commissioners present: Chairman Johnson, Collison, Lundeen, Bergley, Gordon, Simon, Collins.

Members absent: None

Staff Present: City Administrator Josi Wood, Community Development Director Sheila Sellman

Agenda Modifications: Addendum to the agenda: other business - consider setbacks for Heritage Estates.

Meeting Minutes: Motion by Lundeen, second by Collinson to approve minutes from June 18, 2019 Planning Commission meeting, motion passed 7-0

Public Hearings

Request from Everpine Land Holding for approval of a Site Plan required under City Ordinance 44, Section 18, Subd. 6 (D) and final plat under Article 6, Subd 1. Said request is for final plat of Legacy Pines 2nd Addition.

Chairman Johnson opened the public hearing. Sellman gave the staff report. No one from the public comment on this item. The Commission discussed access to Legacy Park and Sellman indicated that temporary access is being provided by the developer and a permanent access will be installed by the developer with phase II including a parking lot. The Public hearing was closed. Motion by Lundeen, second by Bergley to approve the Site Plan and Final Plat with conditions listed in the staff report. Motion passed 7-0.

Request from Semler Construction, Inc. for approval of Preliminary Plat required under City Ordinance 536, Article 5, Subd. 1. Said request is to replat 32 townhome lots into 16 single family lots legally described as Lots 74, 75, 76, 77, 78, 79, 80, 81, 82, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97 Block 4 Villages on the Run.

Chairman Johnson opened the public hearing. Hugo Strike of 1303 Blossom Blvd. spoke on this item. He stated that we don't need anymore residential lots, and wanted to know what the dirt pile on the empty lots was for. The Commission explained that the request to actually reduce the number of lots/units. Jason Semler with Semler Construction explained the dirt pile on the lot is from another development of his in Isanti, he is storing there for now. Semler indicated he bought the lots 5 years ago and there isn't a market for townhomes anymore, but there is a market for detached townhomes. The public hearing was closed. Motion by Bergley, second by Simon to approve the preliminary plat with conditions listed in the staff report. Motion passed 7-0.

Other Business

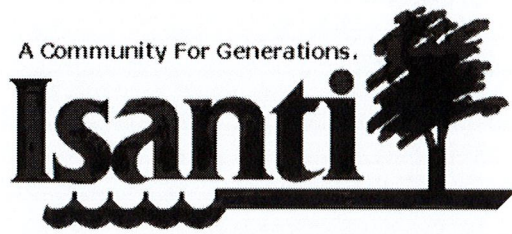
Consider setbacks for Heritage Estates

Level Contracting requested the Planning Commission reduce the approved setbacks for Heritage Estates. Sellman gave the staff report stating that the setbacks were set by Resolution and is part of the development agreement. The Commission asked Monty Jensen with Level

Contracting why he is requesting the reduced setbacks. Monty stated he was unaware of the setbacks in the resolution. The Commission asked him if he signed the development agreement and he said that he did, but he admittedly did not read it. Monty thought the setback shown on the preliminary plat were what was approved. After reviewing the plat the Commission agreed to reduce the setbacks on the lots abutting outlots, to make it consistent with the rest of the plat. Since the Resolution clearly states the setbacks the Planning Commission directed the applicant to apply for a Site Plan Amendment and hold the public hearing at the next City Council meeting. The Planning Commission also noted that there were some typos in the resolution regarding lot numbers and directed staff to fix that at the same time.

Discussion Items: None

Adjournment: Motion by Lundeen, second by Bergley to adjourn, motion passed 7-0. Meeting adjourned at 8:25pm.



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director 

DATE: August 20, 2019

SUBJECT: Site Plan Amendment – Best Western Plus

Request:

Best Western Plus located at 409 Main Street E is requesting a site plan amendment. The amendment is for changes to the land scape plan.

Overview/Background:

The Planning Commission tabled this item at the August 7, 2019 special meeting. The applicant has been contacted by staff for revised plans and/or additional information, none was submitted. At this time the request remains the same as well as staff's recommendations.

Best Western Plus received city site plan approval in December 2017, included with that approval was the landscape plan. Below is a table is a summary of planting changes.

TYPE	Original Plan	Proposed Plan
Trees	34	23
Shrubs	91	38
Perennials and grasses	429	56
TOTAL	554	117

Analysis of Application:

A good portion of the proposed changes are on the backside of the hotel (Broadway Street side), other reductions include around the trash enclosure and directly in front of the building. Below are landscape requirements per city code:

Subdivision 5: Landscaping Requirements

Purpose. The purpose of this Subdivision is to provide specifications, which will guide landscaping within residential, commercial, mixed-use, and industrial districts; will provide buffering between different and more intense land uses; will ensure that native trees and vegetation are preserved and replenished ; will aid in the stabilization of the environment's ecological balance by reducing storm water runoff and improving surface water quality; and will enhance the overall beauty and appearance of the City.

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The proposed changes around the patios are significant, the code requires a buffer between different and more intense land uses. The patios face residential. while the proposed plantings will provide some type of a buffer it is not comparable to what was originally approved. The plantings on the back side of the building have been removed completely, this too was a nice buffer to Broadway Street.

Another area of notable change is around the trash enclosure. Three trees are proposed, whereas the approved plan had the same three trees and additional shrub plantings, which helps in screening the enclosure.

Staff Recommendation:

Staff does not support the proposed changes. The Commission should consider the residential use and screening while reviewing the request. If the Commission would like to give some concession staff would recommend leaving the screening around the patio and trash enclosure as approved and modify the building plantings and island plantings.

Attachments:

E-mail to applicant for additional information
Approved Landscape Plan
Proposed Landscape Plan
Letter from the Applicant

Sheila Sellman

From: Sheila Sellman
Sent: Thursday, August 8, 2019 4:31 PM
To: Troy Hoekstra
Cc: Josi Wood; Mayor Johnson
Subject: RE: Isanti Hotel Landscape

Troy - As staff, I have done what I can with your request, it is now in the hands of the Council. You can contact the mayor directly at mayorjohnson@cityofisanti.us if you would like, he has been copied on this response.

The Planning Commission is scheduled for August 20, 2019 after the City Council meeting at 7pm, if you plan to have revised plans I will need those no later than August 14th.

As far as "kick back" goes the Commission was discussing that if there is a reduction in plantings that perhaps the savings in landscape costs should be split with the city since the city invested a lot in the project. The final consensus from the planning commission was essentially to deny the request as presented, with the option to come back to the Planning Commission with a plan that is more inline with what was originally approved, with an emphasis on keeping the Broadway side plantings in place. The Commission would also like to know the timeline for completing the project, including the second lift in the parking lot.

Thanks

Sheila Sellman
Community Development Director

-----Original Message-----

From: Troy Hoekstra <hoekstratroy@gmail.com>
Sent: Thursday, August 8, 2019 3:19 PM
To: Sheila Sellman <:ssellman@cityofisanti.us>
Cc: Rob Binder <Rbinder@civilsitegroup.com>; Scott England <sengland@djr-inc.com>; Ken Koense <kkoense@djr-inc.com>; Rob Hjort <rhjort@golderhospitality.com>
Subject: Re: Isanti Hotel Landscape

Yes I did hear that the meeting was not "friendly" and that's many assertions were made. At this point I would ask, again, if we can schedule a meeting with you, the Mayor and any other city staff that would be appropriate.

I think until you talk to an owner who has lived this thing from day one our perspective won't be taken into account and we will continue to talk past each other. This seems to be a very unfriendly environment, something I'm not used to, and I would like to get all of us on the same page. I heard that the term "kick back" was used last night and I would want to understand that perception.

Please advise a time/place that works for you. Thank you.

Troy Hoekstra
United Development Solutions
5 Riverside Ave S.
P.O. Box 372
Sartell, MN 56377
Cell (320)493-6272

Hoekstratroy@gmail.com

(Please excuse typos sent from my iPhone)

> On Aug 8, 2019, at 2:15 PM, Sheila Sellman <ssellman@cityofisanti.us> wrote:

>

> Good afternoon, as you may be aware the Planning Commission recommended denial of your amendment request and tabled the public hearing to the August 20th PC meeting if you want to try and revise the plan based on their comments or are you going to stay with the original plan. I noticed that some landscaping is being installed at the hotel today. Please advise on what your plans are at this point.

>

> Sheila Sellman

> Community Development Director

>

> -----Original Message-----

> From: Troy Hoekstra <hoekstratroy@gmail.com>

> Sent: Tuesday, July 30, 2019 4:59 PM

> To: Sheila Sellman <ssellman@cityofisanti.us>

> Cc: 'Rob Binder' <Rbinder@civilsitegroup.com>; 'Scott England' <sengland@djr-inc.com>; 'Ken Koense' <kkoense@djr-inc.com>; 'Rob Hjort' <rhjort@golderhospitality.com>

> Subject: RE: Isanti Hotel

>

> Hello Sheila:

>

> Please see the attached for our application.

>

>

> Troy J. Hoekstra

> United Development Solutions LLC

> 5 Riverside Avenue South

> PO Box 372

> Sartell, MN 56377

> Cell: (320)493-6272

> Fax: (866)297-1171

> hoekstratroy@gmail.com

> www.udsmn.com

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>

> -----Original Message-----

> From: Sheila Sellman <ssellman@cityofisanti.us>

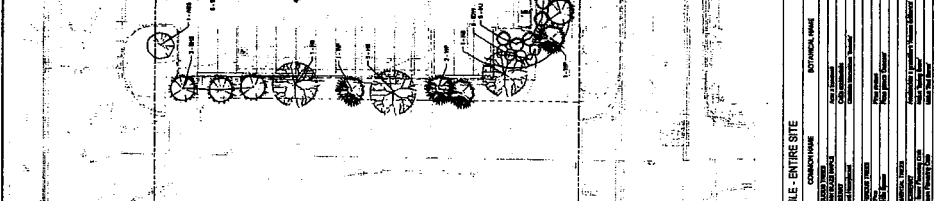
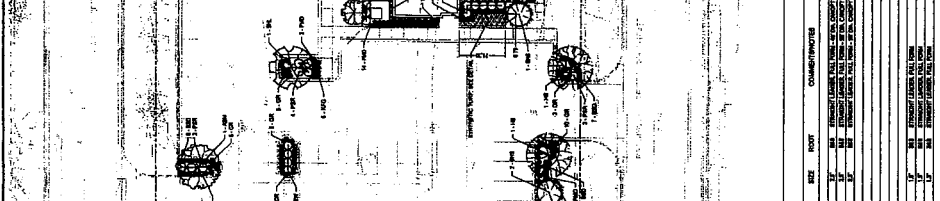
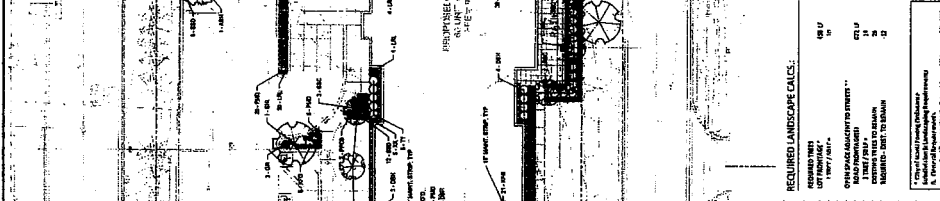
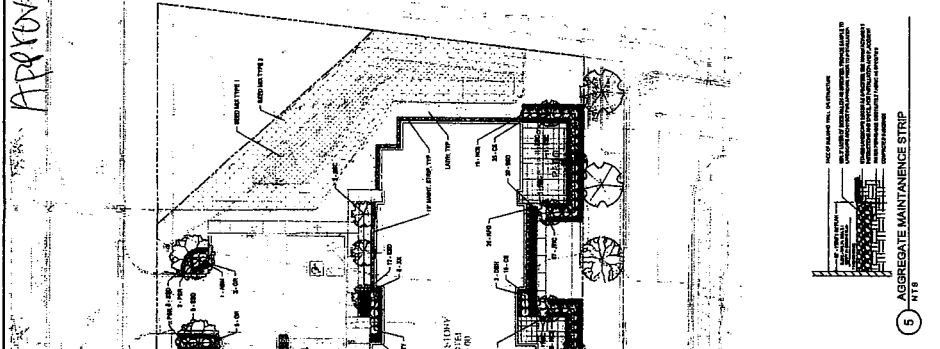
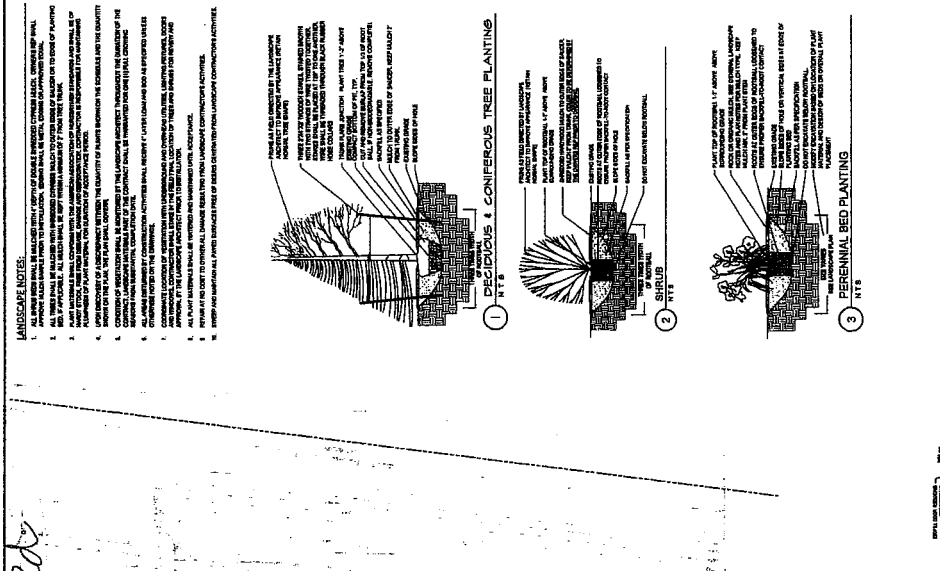
> Sent: Tuesday, July 30, 2019 10:36 AM

> To: Troy Hoekstra <hoekstratroy@gmail.com>

> Subject: RE: Isanti Hotel

>

Approved

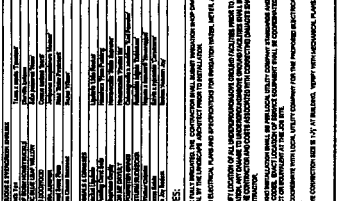
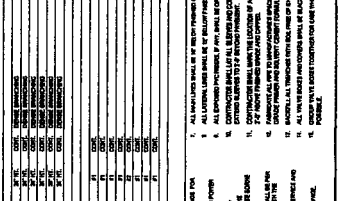
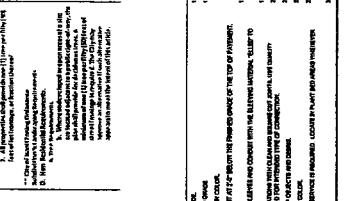
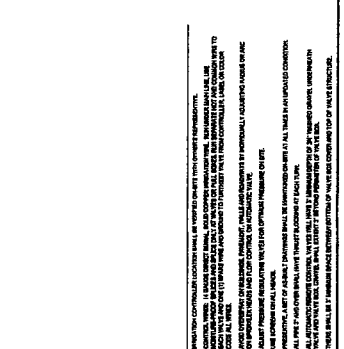
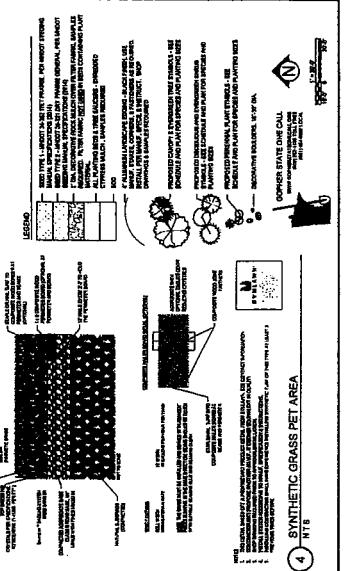


PLANT SCHEDULE - ENTIRE SITE

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DOBT	COMMENTS/NOTES
1	1	Red Maple	Acer rubrum	12"	12"	...
2	1	White Birch	Betula papyrifera	12"	12"	...
3	1	Black Birch	Betula nigra	12"	12"	...
4	1	Red Pine	Pinus resinosa	12"	12"	...
5	1	White Pine	Pinus strobus	12"	12"	...
6	1	Blue Spruce	Pinus sibirica	12"	12"	...
7	1	Juniper	Juniperus horizontalis	12"	12"	...
8	1	Yew	Taxus canadensis	12"	12"	...
9	1	Boxwood	Buxus sempervirens	12"	12"	...
10	1	Hydrangea	Hydrangea macrophylla	12"	12"	...
11	1	Spirea	Spiraea alba	12"	12"	...
12	1	Deergrass	Pennisetum setaceum	12"	12"	...
13	1	Bluegrass	Poa annua	12"	12"	...
14	1	Ornamental Grass	Miscanthus sinensis	12"	12"	...
15	1	Flowering Dogwood	Cornus florida	12"	12"	...
16	1	Red Flowering Dogwood	Cornus florida	12"	12"	...
17	1	Black Dogwood	Cornus florida	12"	12"	...
18	1	White Dogwood	Cornus florida	12"	12"	...
19	1	Red Dogwood	Cornus florida	12"	12"	...
20	1	White Dogwood	Cornus florida	12"	12"	...
21	1	Red Dogwood	Cornus florida	12"	12"	...
22	1	White Dogwood	Cornus florida	12"	12"	...
23	1	Red Dogwood	Cornus florida	12"	12"	...
24	1	White Dogwood	Cornus florida	12"	12"	...
25	1	Red Dogwood	Cornus florida	12"	12"	...
26	1	White Dogwood	Cornus florida	12"	12"	...
27	1	Red Dogwood	Cornus florida	12"	12"	...
28	1	White Dogwood	Cornus florida	12"	12"	...
29	1	Red Dogwood	Cornus florida	12"	12"	...
30	1	White Dogwood	Cornus florida	12"	12"	...

BRIGATION NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF ISANTI PLANTING SPECIFICATIONS.
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REQUIRED LANDSCAPE CALC.

ITEM	QTY	UNIT	REMARKS
1	1	sq ft	...
2	1	sq ft	...
3	1	sq ft	...
4	1	sq ft	...
5	1	sq ft	...
6	1	sq ft	...
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25	1	sq ft	...
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28	1	sq ft	...
29	1	sq ft	...
30	1	sq ft	...

REQUIRED LANDSCAPE CALC.

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The development team would like to request an Amendment to our approved landscape plan for the Best Western Plus project. The original landscape design, although expressing a complete build-out of a multi-layered landscape, as well as fulfilling the requirements of the City, did not take into account the nature of the Owner's planned exterior maintenance regiment, nor allow areas for future landscape interventions and updates.

We feel the amended layout accomplishes the city's goals as completely as the original version and still allows the Owner flexibility for the future.

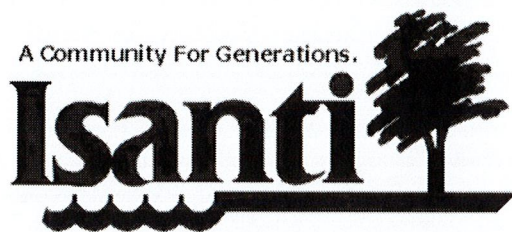
Both the original plan and the amended design provides:

- the same number of shade and evergreen trees as is shown on the approved plan
- shade trees for the parking lot
- screening along the western property line
- screening at the trash enclosure and near the building utilities enclosure
- screening at the two south patio areas
- a completed "street tree" treeline along the southern side of the property

As mentioned above, we have removed mainly perennial planting beds, none of which is explicitly required by the City, which would be replaced with lawn areas or a rock maintenance strip directly at the building wall.



Managing Partner
Isanti Hotel Partners LLC

**MEMORANDUM**

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director 

DATE: August 20, 2019

SUBJECT: Final Plat – Sun Prairie 5th Addition

Request:

Final Plat approval of Sun Prairie 5th Addition platting outlot J of Sun Prairie Addition.

Overview/Background:

The subject site was part of the Sun Prairie Addition, which was platted in 2005. The subject lot is Outlot J of said plat. This lot was platted as an outlot to potentially be connected to the property to the east once it develops. The site to the east can develop without this outlot.

Analysis of Application

The subject site is zoned R-1 Single Family Residential and has a comprehensive land use guide of low density residential. The minimum lot requirements have been met and the lot can accommodate the setbacks for the district. City Sewer and Water are available to the lot. The City Engineer reviewed the plat and recommends approval

Staff Recommendation:

Staff recommends approval of the plat as presented.

Recommended Motion: Move to approve the final plat of Sun Prairie Addition.

Attachments:

Plat
Findings of Fact
Engineers Memo

FINDINGS OF FACT AND CONCLUSION

Request

Request from Jeff Pfeffer, for Final Plat Approval of Sun Prairie 5th Addition, legally described as Outlot J of Sun Prairie Addition, Isanti County, Isanti, Minnesota.

Findings of Fact

1. The Plat of Sun Prairie 5th Addition was approved in 2005 per resolution 2005-058.
2. The applicant has made an application for a Final Plat Approval of Sun Prairie 5th Addition Isanti County, Minnesota.
3. The property is legally described as Outlot J of Sun Prairie Addition, Isanti County, Isanti, Minnesota.
4. The Applicant is requesting Final Plat Approval in an effort to create one lot.
5. The property is zoned "R-1" Single-Family Residential.
6. The Applicant submitted an application for Final Plat Approval on August 14, 2019. It was deemed complete on August 14, 2019.
7. The Final Plat was reviewed by the Planning Commission on Tuesday, August 20, 2019 at 7:00 p.m. at City Hall within the Council Chambers.

Conclusions

1. The platting of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the "R-1" Single-Family Residential.
2. The platting of the property would appear to meet the Design Standards as required by Ordinance No. 536.

Decision

Planning Commission Recommendation:

City Council:



**BOLTON
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: August 14, 2019
To: Sheila Sellman, Community Development Director
From: Jason W. Cook, P.E.
City Engineer
Subject: Sun Prairie Fifth Addition - Final Plat Review
City of Isanti, MN
Project No.: R13.117985

We have reviewed the proposed final plat of the Sun Prairie Fifth Addition, submitted on 8/14/2019.

The site is located on Marion Street SE east of 8th Avenue SE. This Fifth Addition plats Outlot J from the Sun Prairie First Addition into a single-family residential lot.

We have reviewed the submitted final plat documents and recommend approval as submitted.

Please contact me if you have any questions.



TO: Chairman Johnson and Isanti Planning Commission

FROM: Don Lorsung, Assistant City Administrator / Special Projects

DATE: August 15, 2019

RE: Chapter 3 – Housing and Neighborhoods – 2030 Comprehensive Plan Update

Introduction

Development of new housing continues in the City of Isanti, although not at the rate or diversity of housing types of the early 2000s. Since the Great Recession, development has centered on construction of single family houses on vacant lots or Outlots that either were already developed or had ready access to City roads and utilities. The amount of existing residential lots has been reduced as of the writing of this Chapter from 440 in 2011 to 50 lots. With the development of those lots and current housing market needs for new lots, there have been two new single family subdivisions developed in 2018 and 2019. Homes built in the last several years range from small single level patio homes and split levels, which appeal to first time and senior buyers, to larger multi-level homes for second or third time buyers. Regarding rental housing, no new facilities have been built in Isanti since the second Evergreen Apartment building was constructed in 2008. The last senior housing project, Prairie Senior Cottages, was built in 2010. It should also be noted that the City took substantial efforts during the Great Recession to work with foreclosed and successor owners to maintain and stabilize vacant single family housing in the City of Isanti. At the height of the foreclosure crisis in April 2010, the City was monitoring the condition and status of 171 homes, which at the time represented over 12% of that housing stock.

As a part of the development of the 2008 Comprehensive Plan, the City in conjunction with the Greater Minnesota Housing Fund (GMHF), developed a Housing Action Plan, which set housing goals and an action plan. With the change in the economy and severe recession, potential plans to work with GMHF on the action plan were not feasible. A review of the past GMHF housing plan indicates that some housing planning recommendations are still relevant in the planning period of this comprehensive plan update. Additional housing studies were performed in the East Central Region, which included the City of Isanti.

This Chapter will address the following regarding Housing: Framework and Assumptions, Existing Conditions, and Analysis and Recommendations.

Framework and Assumptions

Housing is the single greatest land use in the City of Isanti. With Isanti's location on urban fringe of the Twin Cities metropolitan area, the desire and demand for low density residential housing will continue within the timeframe of this update. New residents are drawn to Isanti for the "small town feeling" and semi-rural area. They desire to have a single family home with a larger lot. A number of the new homes have unfinished space. This reduces the entry price for new owners. Most owners plan to complete the finishing of their home to increase the usable square footage. This builds equity and value in the home. This also allows the option for them to purchase a larger home. With completion of western and northwestern subdivisions, single family residential development will continue to spread east of Highway 65 in the next decade. This expansion will be based on the economy and market for new housing. Another factor will be the cost of new infrastructure.

There is also a continued demand for both multi-family rental and senior housing units in the City. The last market rate apartment building was constructed in 2008. Vacancy rates for multi-family units were below market averages in the last housing study. The need for senior housing, both owner occupied and multi-family continues. This need has been somewhat addressed by the housing market with construction of single level patio homes in the City. Seniors are also purchasing larger single family homes in order to provide accommodations for other family members. Multi-generational use in homes is not uncommon. The need for both multi-family and senior housing was recognized in the 2015 housing study.

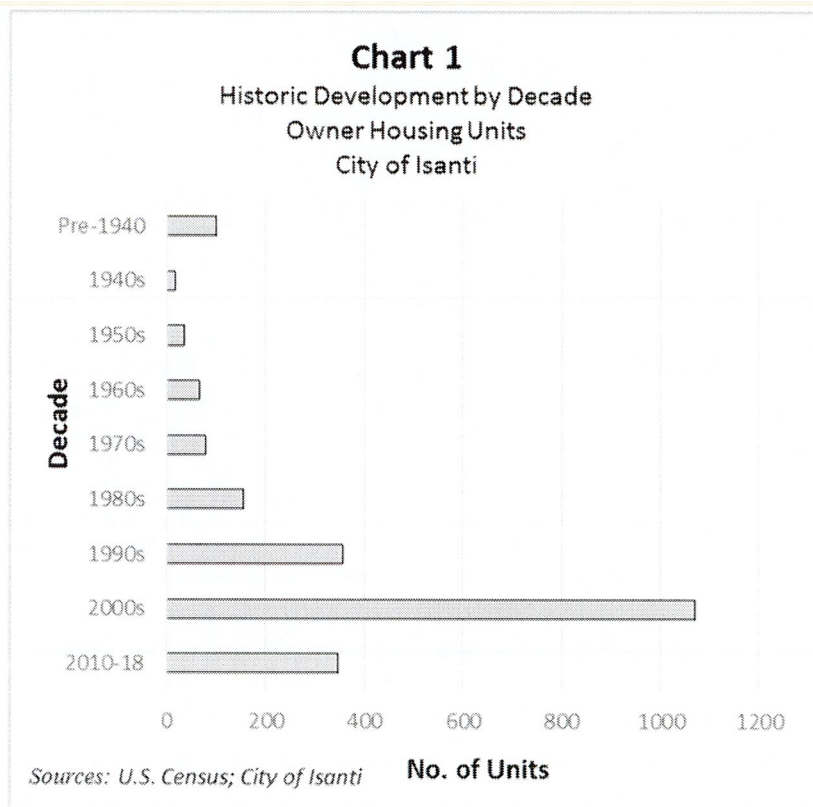
As recognized in the 2008 Comprehensive plan, housing quality, type and neighborhoods are an important indicator of quality of life. That indicator, coupled with household size and other demographic indicators, are used by commercial developers and locators in decisions whether to locate in a community. City residents not only supply customers for the business, they are also potential employees.

Existing Conditions

This sections contains both historic trends of development, building trends and market values and how they relate to current and projected housing needs in the City of Isanti.

Development by Decade

As you see in the following chart (Chart 1), the historical pattern of residential growth in the City of Isanti is shown. Housing development in the time period of the 1940s to the 1970s was very low, with 201 units over those 4 decades. The pace of housing development was greatest in the time period of 2000-2010, with over 1,000 units constructed. That time period coincides with low fuel prices, favorable financing, and consumer demand. This also fueled development of alternative housing types in Isanti, including townhomes, condominiums and apartments. Large areas of the west and northwest side of Isanti were subdivided and developed, or planned for development in the near future.

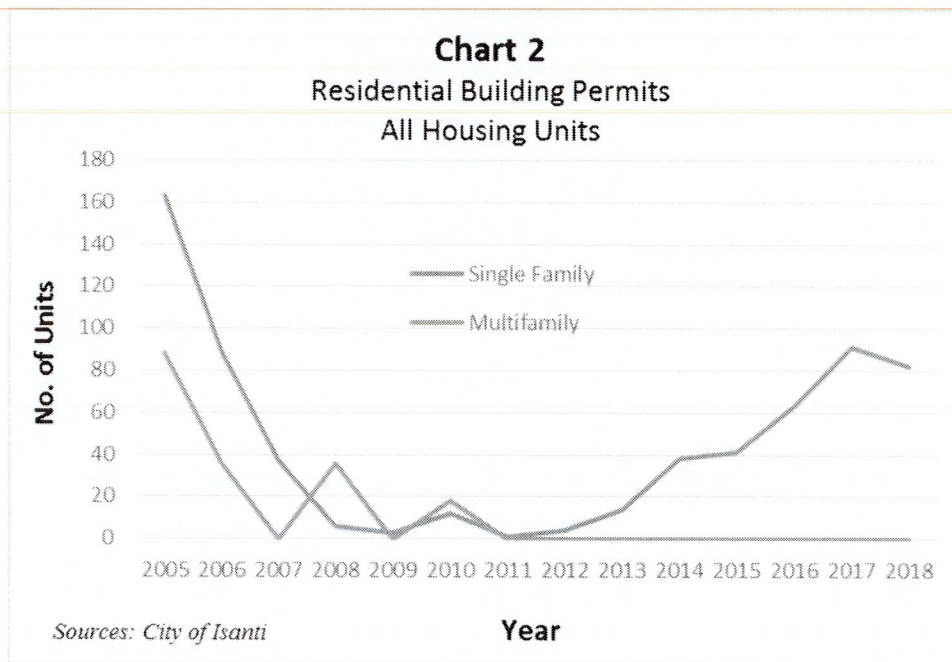


The 2008 Comprehensive Plan noted a slowing of the development of housing, but anticipated a rebounding and continued growth, with a projection from 2005 forward of over new 1,000 households in the City by 2015. The Plan could not have anticipated the Great Recession which basically halted housing development. In the depth of the foreclosure crisis in the City in 2011, only 1 new single family home was constructed that entire year. It would take until 2014, with the construction of 38 new single family homes that the City would

meet its revised housing projections (30 units annually/utility connections). As discussed, single family housing development has rebounded in the City with 346 homes built since 2010, with most constructed in the past 3 years. Senior housing needs, beyond independent living, were also partially addressed with development of Prairie Senior Cottages in 2010, adding 18 housing units for those requiring assisted congregate housing services.

Residential Building Permits

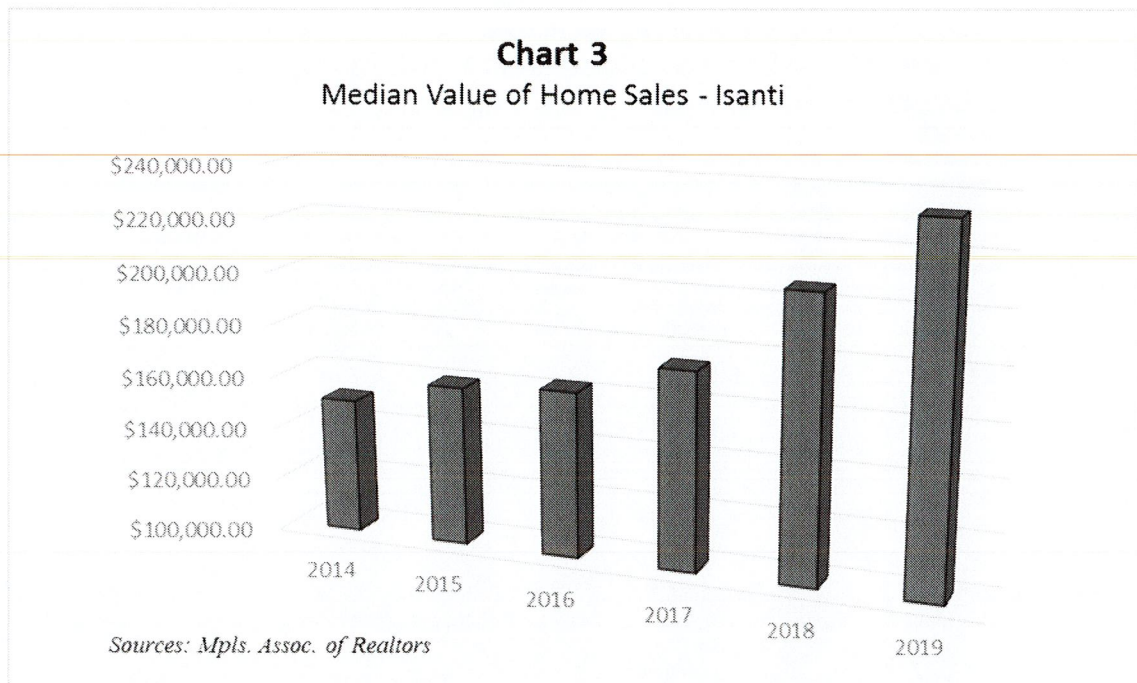
Chart 2 shows Residential Building Permits for all housing units since 2000.



The graph reflects the change in the total number of housing permits which peaked in 2005. From 1990 to 2000, residential building permits averaged 30 to 35 units. From 2000 to 2004, Isanti averaged 150 to 160 units per year. During those years, townhouses represented 25% of the new housing units produced. Housing production since 2010 has been single family homes, which have ranged from smaller one level patio homes to larger multi-level homes. Within the past 3 years, there have been larger homes built (1200 sq. ft. plus) as a percentage of all homes built for that year.

Median Home Sales

Chart 3 shows the median sale price of housing units sold in Isanti from 2014 through 2018.



As you can see in the chart, housing values have trended higher since 2014. In 2018, the single family housing market in the City of Isanti recovered to the level of the highest median value in 2005, when median values were just under \$200,000. This is due to the creep of higher metro values north and a reduced inventory of existing houses on the market. Values in 2019 have continued to rise, but signals of a slowing housing market are temporing those increases.

With the housing market regaining former values, the issue of housing affordability may become an issue in the next 10 years. The 2015 East Cental Housing Study recognized this. Their study shared that 33% of housing owners and 46% of renter households were paying more than 30% of their income for housing costs in Isanti County. The City should consider tracking this indicator to guide community and economic development decisions in the next decade.

Housing Real Estate Market

Listed below are notable aspects of the residential housing market in Isanti..

- The Isanti housing market continues to be sizable, with 1,034 units marketed in the past 3 years.
- Single family home median values have increased from \$177,900 in 2016 to \$220,000 in 2018.
- The single family housing market includes starter and senior housing with building square footages averaging 1000 sq. ft. on the main level to larger move-up homes with 1230-1300 sq. ft. on the main floor, with total finished square footage over 2500 sq.ft.
- In recent years single family homes with larger square footages on multiple floors have averaged 44 % of the housing market.
- No townhomes have been built in the post recession time period. Builders have shared that the market is not there for this housing product.
- Existing homes requiring major updates (roofs, windows and doors) are being improved as the value of such properties is increasing.

Rental Housing

Since the Great Recession there has not been construction of new market rate or subsidized multi-family apartment buildings or seniorassisted congregate housing in Isanti since 2010. There have been proposed market rate and senior assisted living proposals in Isanti since that time, but none have constructed. The 2015 East Central Minnesota Housing Study determined that market rate rental vacancy rates were very low (1.3%) and that additional rental housing in Isanti was needed. In a healthy rental market vacancy rates average 5%.

There has been much discussion in the past regarding the need for rental housing in Isanti. In a community that addresses life cycle housing for all age groups, rental housing is needed for the following residents:

- Seniors who desire to downsize and reduce home maintenance responsibilities and desire to remain in the City.

- Newly employed households that need housing but cannot afford to relocate here and buy a home.
- Newly formed households of adults that were raised in the community and need affordable housing. These households may move up to starter homes and it is in the City's interest to retain them.
- Households that need to downsize due to economic reasons and desire to remain in the City since they may have family members in the school system, and/or are closed to extended family.

Another part of the rental housing equation is availability of land for development. There is limited land for development of multi-family housing in Isanti. Areas near commercial and transportation corridors should be evaluated for suitability for multi-family housing. Since population numbers and residential density are strong considerations by commercial developers, the City needs to consider how these land uses could work together as the City develops.

Other Housing

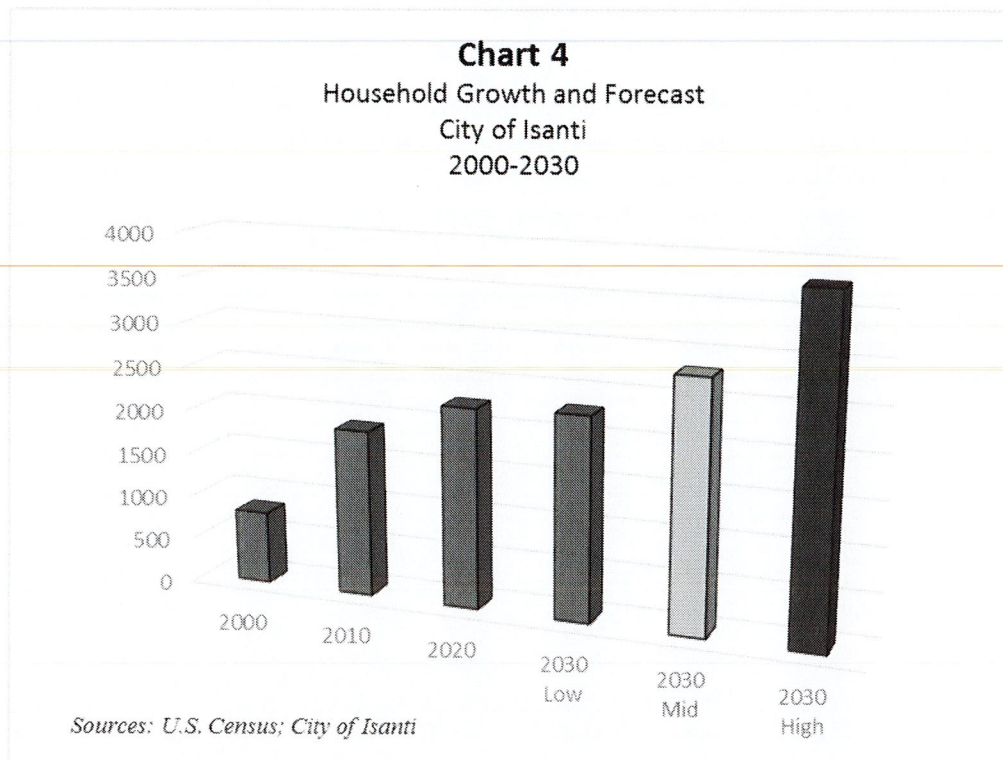
Past housing plans and studies have shown the need for senior assisted and congregate housing. Isanti has one facility that serves this need. Other facilities have been developed in adjacent cities to address these needs. These developments often serve residents of all income levels and a financial subsidy is needed to assist in their development. The City will need to consider the need for such facilities in Isanti and its policies for financial subsidies, if it is to provide for these housing facilities in the community. Demand for this housing option, with ancillary services will increase in the next decade as the population ages and seniors increase in numbers.

Neighborhoods/Housing Developments

The 2008 Comprehensive Plan addressed neighborhood patterns and housing developments in the City of Isanti. Through past land use planning by the City, new subdivisions and neighborhoods have been developed in a phased planned method that was also dependent on available land, street and utility systems. Unless specifically guided as a Planned Unit Development, most lots are in the 10,000 to 12,000 sq. ft. range in size. The majority of housing in these neighborhoods is single family housing. While there was development of townhouses in the early 2000s, most of the remaining land guided for that use was later developed as single family housing, with the majority one level patio or split level homes.

Residential neighborhoods have been developed in the northwest, west and southwest areas of the City. There is some room for expansion within the City limits in the south

and southwest areas, but the remainder of the areas described above will be filled with new single family housing within the first 5 years of the next decade. There are areas on the east side of Highway 65 that are available for single family housing development. This will be further reviewed in this comprehensive plan update under land use.



Analysis and Recommendations

So far in this Chapter, the existing housing, market conditions and locations have been reviewed. Chart 4 above shows projected growth of households in the City. New housing will be needed to accommodate these new households. Since the Great Recession, single family housing has been built on existing and newly platted lots. Recommendations for the guidance of housing in the next decade are as follows:

- In the 2008 comprehensive planning process, there was much concern regarding neighborhood quality and design. This is still a concern today, with new residents desiring single family neighborhoods with larger lots and a “small town feel” in the City. Demographics show that the need for single family housing, both starter and second homes, are needed in the City. Land use guidelines for housing types, lots sizes, and coverages should be reviewed to ensure quality design. Diversity through planned unit developments should continue to be considered and used to create unique neighborhoods that are desirable and attractive. The emphasis should be balanced housing development, with a continued push towards construction of larger second homes or executive homes.

- There is a continued need for multi-family housing in the City. This type of housing ranges from market rate apartments to senior congregate housing. The 2015 housing study should be updated. Data from the update would assist in verifying housing needs. The location of multi-family housing should be near major transportation corridors. There may be opportunities to place such housing adjacent to commercial areas. This density of housing may assist with development of those commercial areas. This should be taken into consideration with land use planning near the Highway 65 and Heritage Boulevard commercial corridors. The Downtown area should be also looked at for expansion of housing, especially first floor commercial redevelopment with upper level housing.
- Conservation development is important in the City of Isanti. In considering new residential development, Isanti's natural areas, systems and those amenities should be incorporated through subdivision design or planned developments. Existing wooded areas, wetlands and wildlife corridors should be retained as a part of development. Public open space to preserve natural amenities, either through land donations, easements or associations, should be part of the planning process for development of those areas.
- Utility system capacities and facility planning should to be incorporated in the phasing of residential development. The current wastewater and water treatment plants have capacity for additional residential growth, but this capacity and expansion of existing or new utility systems should be in conjunction with a phased plan for residential growth.
- The City should consider an update to the 2008 Housing Action Plan to set priorities for housing development in the next decade. This planning effort would first require an update to the 2015 housing study.

Housing & Neighborhood Objectives

- Continue to study housing goals, needs and resources. Watch for changing housing market conditions and opportunities/projects to meet City housing needs and create life cycle housing choices for residents.
- Create desirable neighborhoods through inclusion of natural amenities, parks, sidewalk and trail systems. Include natural systems in planning so that these amenities and wildlife corridors are maintained.
- Encourage a diversity of housing units through architectural design styles, building placement, density and lot size to create unique neighborhoods in the City.

- Monitor condition of existing housing. If market prices stabilize or decline, the City may need programs to assist with renovation of older housing in the community. Multi family housing building conditions should also be monitored with rental license renewals.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, September 17, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - E. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the August 7, 2019 Special Meeting and the August 20, 2019 Planning Commission Meeting.

3. Public Hearings
 - A. Request from Prairie Senior Cottages of Isanti LLC for approval of a Site Plan Review, Variance to the cul-de-sac setback, and Conditional Use permit for a Senior Housing facility proposed Phase II located at 705 6th Ave NE.

4. Other Business
 - A. Request from Semler Construction, Inc. for approval of Final Plat of Villages on the Rum 6th Addition.

5. Discussion Items.

6. Adjournment

CITY OF ISANTI
 SPECIAL PLANNING COMMISSION MEETING
 Wednesday, August 7, 2019
 Minutes

Call to Order: Chairman Johnson called the meeting to order at 7:38pm

Roll Call: Johnson, Lundeen, Collison, Gordon, Bergley

Excused Absence Simon. Unexcused absence Collins.

Staff Present: Sheila Sellman, Community Development Director, Josi Wood, City Administrator

Public Hearings

Request from Best Western Plus, for approval of a Site Plan Amendment, required under City Ordinance 445, Sect. 18, Subd. 2(A). Said requests is for a revised landscape Plan on PID 161460010. Sellman gave the staff report and explained the request was to amend the approved landscape plan for the development by reducing the plantings from 554 plantings to 117 plantings. Sellman recommended that if there are any changes to keep the buffer around the patio and trash enclosures and be cognizant of the residential surroundings.

Chairman Johnson opened the public hearing. Rob Binder with Civil Site Group was available to the Commission for questions regarding the landscape changes, he represented the hotel. Binder explained to the Commission that the reduction in shrubs and perennials is due to maintenance issues that were not factored into the original plan. Gordon questioned what kind of savings is this to the hotel, there was not a response. Lundeen stated the buffer between the residents and the hotel has to stay. Johnson stated that all the other businesses in town have stuck to their plans and maintained their landscape why should this be different? Gordon suggested that if the hotel saves money by reduces the plantings then they should split the savings with the City since the City is so financially vested in the development. Lundeen doesn't want to set a precedence by changes plans, they should stick with what was approved. Bergley could support a cut in plantings if the savings is shared with the city.

Ken Koense project Architect addressed the board. Stated the changes don't diminish or impact the area. Agreed to revise the plan and come back with something as close to the original as they can. Jason Rouke, 208 Richard Ave spoke against the changes. Stated the landscape additions were put in place out of respect for the neighbors. The hotel already got variances for setbacks, they can't promise things and then take them back.

Tom Aleckson, 208 Richard Ave spoke against the changes. He questioned why the hotel was even open they don't have sod or the 2nd lift on the parking lot.

Johnson closed the public hearing at 7:58pm.

Gordon and Johnson both agreed that if there is a savings for the hotel in reducing the landscape then the city should get some of their money back. Bergley is for the original plan. Lundeen doesn't want to see any reduction on the back side and questioned when the 2nd lift was going to be put in the parking lot.

Motion by Johnson to decline the proposed changes, can come back to Planning Commission with a different revised plan. 2nd by Gordon, Bergley asked staff to notify the neighbors of the meeting. Motion passed 5-0.

Motion by Bergely to re-open the public hearing and to table to the August 20, 2019 Planning Commission meeting 2nd by Lundeen, motion passed 4-1, Collison Nay.

Other Business: None

Discussion Items: None

Adjournment: Motion by Lundeen 2nd by Bergley to adjourn. Motion passed 5-0, adjourned at 8:10pm.

**CITY OF ISANTI
PLANNING COMMISSION MEETING
Tuesday, August 20, 2019
Minutes**

Call to Order: Chairman Johnson called the meeting to order at 7:10pm

Roll Call: Commissioners present: Chairman Johnson, Collison, Lundeen, Bergley, Gordon, Simon. Collins arrived at 7:18pm

Staff Present: Community Development Director Sheila Sellman and Assistant City Administrator/Special Projects Don Lorsung

Agenda Modifications: Motion by Lundeen to move item 3 Public Hearing to the bottom of the agenda, second by Gordon motion passed 5-1 with Bergley Nay.

Meeting Minutes: Motion by Lundeen 2nd by Collison to approve Minutes from the July 16, 2019 Planning Commission Meeting, motion passed 6-0.

Other Business

Request from Jeff Pfeffer for a Final Plat of Sun Prairie 5th Addition under City Ordinance 536 Article 6 for property described as Outlog J, Sun Prairie first Addition. Sellman gave the staff report, both staff and the City Engineer recommend approval. Motion by Lundeen 2nd by Collison motion passed 7-0.

Comprehensive Plan Update – Chapter 3, Housing. Losung gave the staff report and reviewed the recommendations Chapter 3, of the Comp Plan. The board discussed the need to update the housing study and agreed to discuss that item as the goals session.

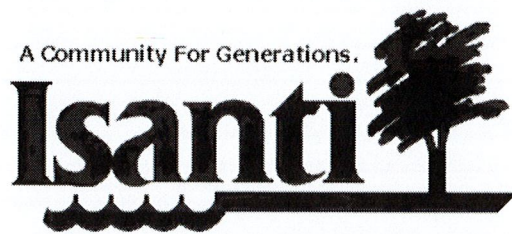
Public Hearings

Continued from August 7, 2019 - Request from Best Western Plus, for approval of a Site Plan Amendment, required under City Ordinance 445, Sect. 18, Subd. 2(A). Said requests is for a revised landscape Plan on PID 161460010. Sellman reported to the board that no updates have been made from the original request that was reviewed at the Special Meeting. The applicant was not present. Jason Bourke residing at 208 Richard Ave spoke at the public hearing. He stated that the hotel already planted the revised plan. He spoke at the Special Meeting opposed to the request and is still opposed to the modifications. The Commission was disappointed that the hotel representatives were again not at the meeting. Bergley mentioned that the hotel didn't put down the required 4 inches of black dirt before they laid sod, asked staff to look into that. Motion by Lundeen, second by Collison to keep the original plan in place. Motion passed 7-0


Motion by Bergley second my Lundeen to adjourn. Motion passed 7-0 adjourned at 7:37pm.

Respectfully Submitted

Sheila Sellman
Community Development Director/Secretary

**MEMORANDUM**

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director 

DATE: September 20, 2019

SUBJECT: Request from Prairie Senior Cottages for approval of a Site Plan, Conditional Use Permit and Variance for a second building to be located on the property at 705 6th Ave NE, legally described at Lot 1, Block 1, Bank Site Second Addition, Isanti County, Isanti, Minnesota.

Overview/Background:

Prairie Senior Cottages was granted site plan and conditional use permit approval 2010 for two buildings on this site with the condition that the second building would need to be constructed within 5 years of site plan approval. That date passed in November 2015. In 2016 an extension was granted and has since expired. The same request has been made and is before the Planning Commission and City Council for consideration. The plans and specifications are exactly the same as what was approved in 2010 and 2016.

Prairie Senior Cottages has submitted a request for a second building on their property at 705 6th Ave NE. The proposed building is 16,340sf with an attached garage and contains 24 rooms and a total of 28 beds. A fenced in outdoor area with a gazebo is provided on the south side of the building for the residents similar to the existing building. This building is larger than the first building in that it will accommodate up to 24 residents versus 20 residents in building 1. The layout of building two has also been updated to allow for more efficient use of the outdoor area.

The site plan details are outlined below. All elements meet or exceed the zoning ordinance requirements except for the front yard setback of the building. A variance is being requested to allow for a 10ft front yard setback rather than the required 30ft setback. In addition to being in a cul-de-sac, which provides for awkward and difficult site development, the majority of the lot is composed of wetlands, leaving very little room for building movement on the site. The building is situated as far south and west as it can go while remaining outside of the wetland. The building has also been designed in a way that promotes an efficient use of the building so that residents can be within the outdoor area and still be viewed by staff. Any other layout would not allow for this type of oversight of the outdoor area. Staff has reviewed the request and feels that it is consistent with the overall feel of the facility and will not impede the safety of vehicles driving into the area. Sight lines are not impacted due to the roadway being a cul-de-sac; in addition, Prairie Senior Cottages owns the only property that would likely gain access from the cul-de-sac.

The City Engineers comments have all been addressed and are reflected in the approval letter from Bolton & Menk dated September 10, 2019.

Analysis of Application

The subject site is zoned B-2 with Highway 65 Overlay District. Highway 65 provides the main entrance into Isanti from the north and south. It is the purpose of this district to enhance the first impression of Isanti through development of a corridor that is inviting, visually appealing and a place that community members want to visit and passersby want to stop. This district is designed and intended to promote the development of an attractive view of the community from Highway 65 through architectural and signage controls, landscaping, screening, building orientation and other features.

Building Setbacks:

Frontyard: 30ft Variance requested

Side yard: 15ft

Street side: 20ft

Parking: 10ft

Parking:

All parking stalls meet the required dimensional standards as do all drive aisles.

Hospital/rest home/nursing home/etc. (1 stall per 4 beds, plus 1 stall per 2 employees)

Total beds: 48 beds/4 = 12 stalls

Total employees: 5 staff/shift x 2 facilities = 10 emp./2 = 5 stalls

17 Required stalls, 4 handicapped

Total Provided: 26 stalls, 6 of which are handicapped

Landscaping plan

Far exceeds requirements of 1 tree per 50ft of lot frontage.

- An underground sprinkler system is provided in landscaped areas.
- All disturbed areas and areas without an established lawn or turf shall be sodded.
- Trees, shrubs and perennials appear to meet the landscaping requirements.
- Additional landscaping is being provided along the north property line to preserve more of a residential area for this facility and to create more of a separation from the bank.

Other items

- Dumpster location is shown and is screened.
- No additional signage is being requested.
- A sidewalk will be installed to connect Prairie Senior Cottages property to the commercial property to the north as is required by the subdivision regulations.

Site Plan Review Requirements

Prior to the construction of any new building or addition to a building a Site Plan/Building Appearance Review is required. When evaluating a site and building plan; Section 18, Subdivision 7 of the Zoning Ordinances states that City staff and the City Council must consider its compliance with the following:

- A. Consistency with the elements and objectives of the City's development guides, including the comprehensive plan. *The site has been designed in such a manner as to show consistency with the elements and objectives of the City's comprehensive plan. The buildings have been placed upon the property so as to conserve the wetland or natural area that is located on the south end of the site. The buildings placement and materials*

have paid close attention to site and building design details. This building is consistent with the site plan that was approved in 2010, and 2016 but has since expired.

- B. Consistency with City Codes. *The site has been designed with City regulations in mind and will require approval of a variance in order to be approved.*
- C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas. *Again, the site has been designed so as to maintain the wetland areas located on the south end of the property in their natural state. Additional landscaping will be added to the parcel.*
- D. The amount and location of open space and landscaping. *The amount of landscaping and open space provided on the property would appear to meet ordinance requirements. Additional landscaping will act as a buffer between this traffic corridor, the bank to the north and a residential use.*
- E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking. *The proposed vehicular and pedestrian circulation system provided on site would appear to meet ordinance requirements. The sidewalk is being completed from the bank to the facility.*
- F. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses. *There would appear to be adequate protection of adjacent and neighboring properties. Surface water drainage plans have been reviewed and approved by the City Engineer. All lighting will be constructed in accordance with said plans.*
- G. Consistency with the City's Engineering Design Standards as adopted by Resolution of the City Council. *The plans are consistent with the City Engineer's design standards.*

Conditional Use Permit Requirements

Upon review of a Conditional Use Permit request, the Zoning Ordinance provides factors and standards that must be reviewed by the Planning Commission. Section 21, Article 2 Conditional Uses states:

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

- A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans. *The use is consistent with the goals and objectives of the Comprehensive Plan.*

- B. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district. *Such use meets the purpose and intent of the Ordinance and the underlying zoning district.*
- C. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort. *The establishment, maintenance and/or operation of the conditional use does not appear to endanger public health, safety, morals, or comfort; as the proposed use is less intense than other uses that are permitted within this district. The proposed use would cater to residents of the facility, rather than the general public.*
- D. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood. *The conditional use does not appear to be injurious to the use or enjoyment of other properties within the vicinity for purposes already permitted. Again, the proposed use would be considered less intense than uses that are or could be located on surrounding parcels. The district in which this use would be located is commercial and auto-oriented. The proposed use is more residential in nature and steps have been taken to buffer the use from surrounding properties.*
- E. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *The conditional use would not appear to impede the normal and orderly development and improvement of surrounding properties for uses permitted within the district. The proposed use is located at the end of a dead-end cul-de-sac.*
- F. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed. *The use will be placed within an area that has adequate public facilities and services available immediately upon construction of the use on the parcel.*
- G. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located. *The Planning Commission and City Council have weighed the conditional use against the other applicable regulations of the district. The conditional use would appear to meet those requirements.*
- H. The conditional use complies with the general and specific performance standards as specified by within this Article. *The proposed conditional use would appear to meet the general standards; however, a variance is necessary for the buildings front yard setback. The variance request is addressed further in the Findings of Fact.*

Variance

The applicant is requesting a variance to the front yard setback. When considering a variance request the following criteria must be met:

1. The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance. *The developer would like to construct a small portion of the building within the required front yard setback in a cul-de-sac with minimal traffic and that has one property owner fronting the entire length of the cul-de-sac.*
2. The plight of the landowner is due to circumstances unique to the property and has not been caused by the landowner. *The design of the cul-de-sac and amount of property consumed by wetland greatly impedes the development in the northern most portion of the lot. The developer has designed the building to the best of his abilities to meet all city requirements; however, a portion of the building encroaches into the front yard setback.*

3. A variance, if granted, will not alter the essential character of the locality. *The variance does not alter the essential character of the locality. The encroachment does not impede on the safety, privacy or environment protection of the area.*
4. Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems. *Not Applicable*
5. Economic considerations alone do not constitute practical difficulties. *Economics do not play a role in this situation.*

Staff Recommendation:

Staff recommends approval with the following conditions:

1. A Development Agreement must be executed and recorded.
2. The Conditional Use Permit shall be executed and recorded.
3. No Additional Signage is permitted.

Suggested Motion: Move to approve the Site Plan, Conditional Use Permit and Variance for Prairie Senior Cottages 2 with the three conditions in the staff report.

Attachments:

- City Engineer Memo
- Site Plans



**BOLTON
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: September 10, 2019
To: Sheila Sellman, Community Development Director
From: Jason W. Cook, P.E.
City Engineer
Subject: Prairie Senior Cottages Phase 2 – Site Plan Review - 2
City of Isanti, MN
Project No.: R13.117985

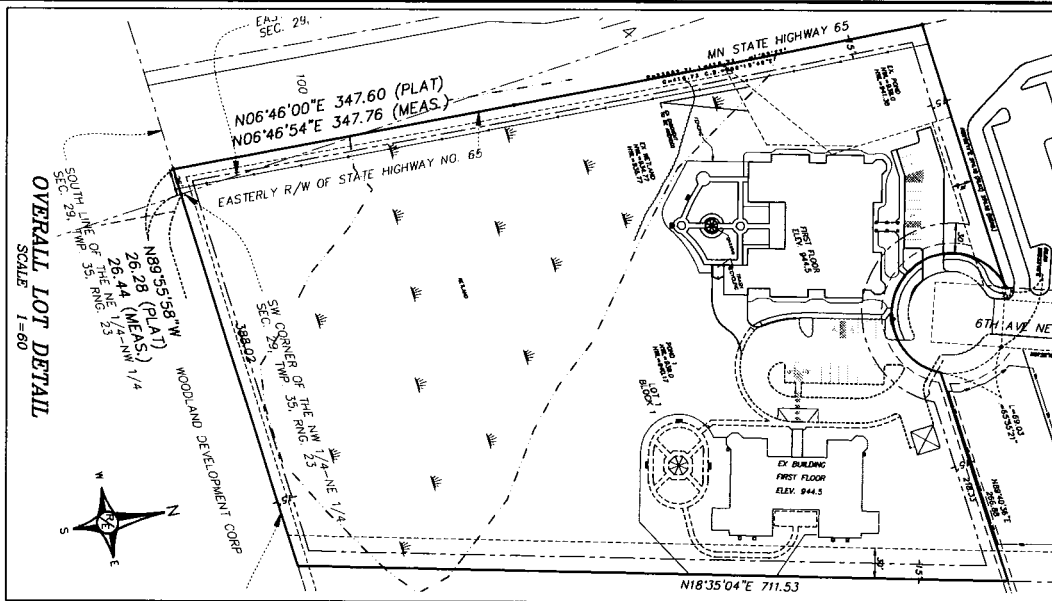
We have reviewed the site plan created by Roshell Engineering, LLC entitled “Prairie Senior Cottages Phase II” with a signature date of March 8, 2016, and a revision date of September 3, 2019.

These documents were received September 10, 2019.

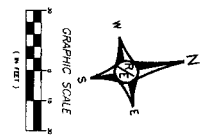
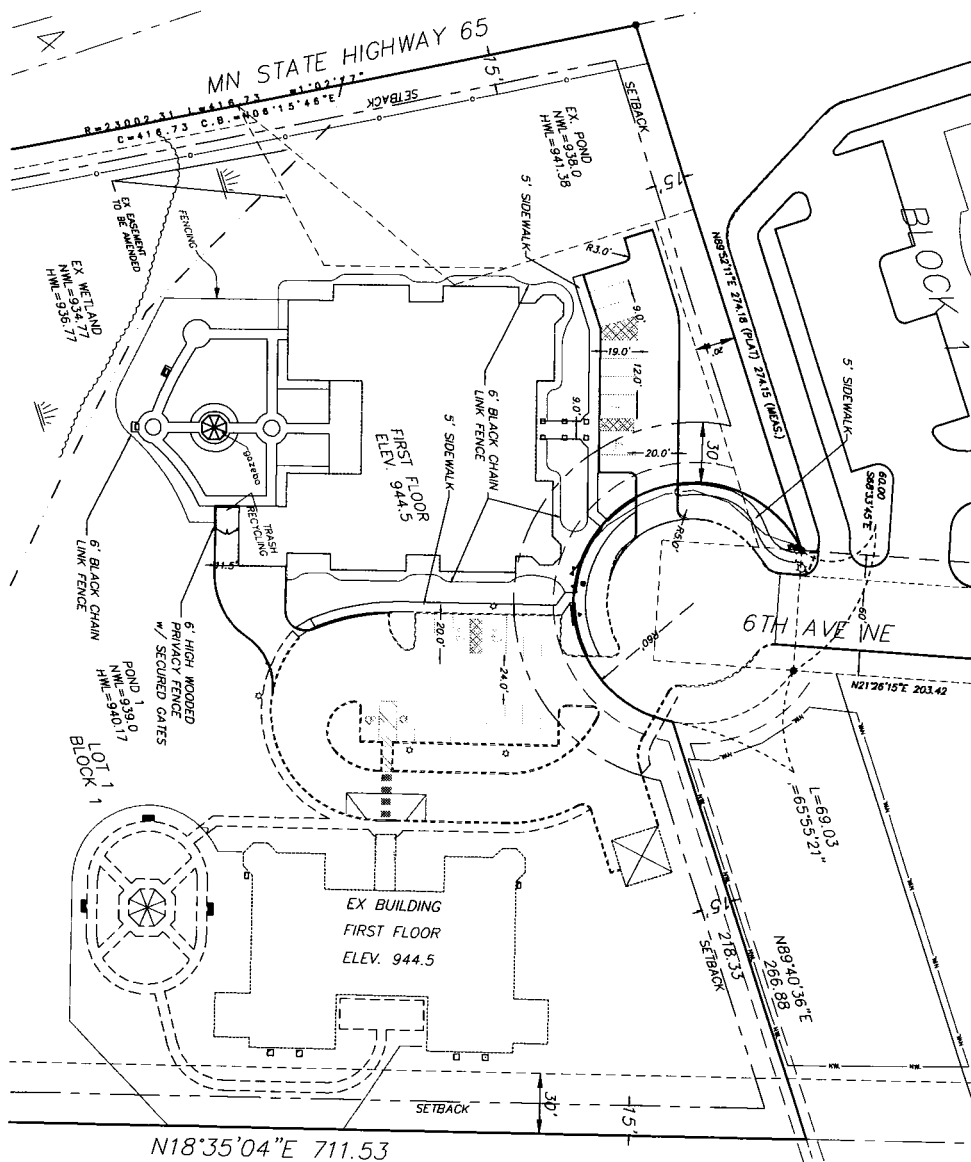
The site plan includes a proposed building with an onsite parking lot.

We have reviewed the submitted plans and have no further comments.

We recommend approval of the plan set as submitted.



OVERALL LOT DETAIL
SCALE 1=60



CO	I HEREBY CERTIFY THAT THE PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DATE: 8/2/19 REG. NO. _____ SIGNED: <i>[Signature]</i> PROJECT: BENT ROSS	PRAIRIE SENIOR COTTAGES PHASE II OVERALL SITE PLAN ISANTI, MINNESOTA	ROSELL ENGINEERING, LLC 6192 267 TH CT WYOMING, MN 55092 PHONE: 763.286.0521	DATE: 8-9-19 REVISIONS: OVERALL LOT DETAIL BY: JR
	RECORD DRAWING			

PRAIRIE SENIOR COTTAGES PHASE II
ISANTI, MN

REVISIONS:

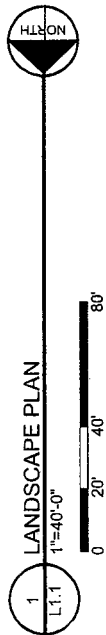
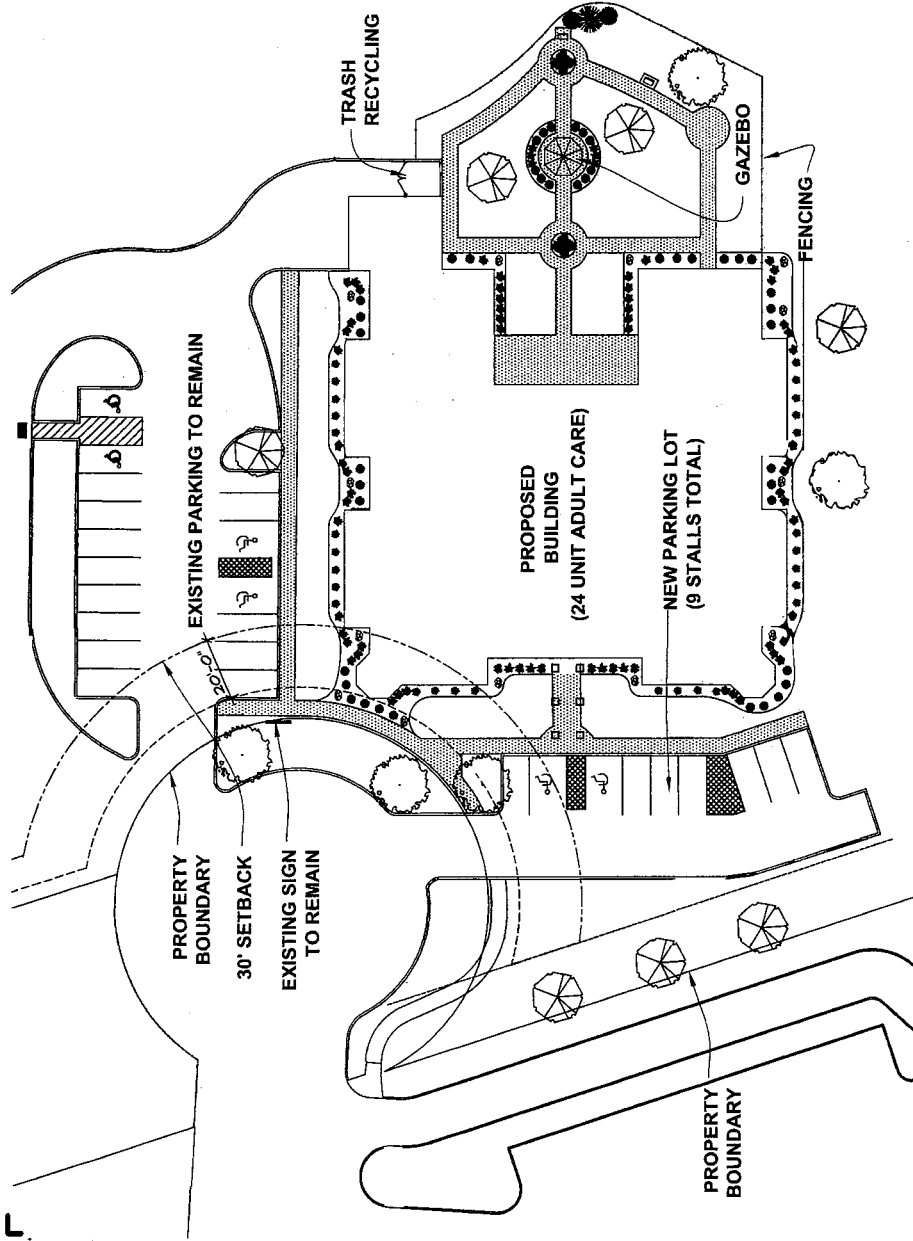
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	09-03-2019	

PROJECT #: 19-03015
 DRAWN BY: BMS
 CHECKED BY: ELO
 ©2019 Oleson + Hobbie Architects, LLC
 SHEET TITLE: **LANDSCAPE PLAN**

SHEET: **L1.1**

PLANT MATERIALS SCHEDULE			
KEY	COMMON NAME	BOTANICAL NAME	SIZE
DECIDUOUS TREES			
	BOULEVARD LINDEN	TILIA AMERICANA 'BOULEVARD'	2.5" CAL. SPECIMEN
	AUTUMN BLAZE MAPLE	ACER X FREEMAN 'CEFFERS RED'	2.5" CAL. MULTI SYSTEM
CONIFEROUS TREES			
	BLACK HILLS SPRUCE	PICEA GLAUCA	8" B&B SPECIMEN
PERENNIALS			
	BUCKLEWING SWITCH GRASS	PANICUM VIRGATUM 'NORTHWIND'	1 GAL. 24" OC
	MARK FORESTER	CALAMAGROSTIS XACUTIFLORA	1 GAL. 24" OC
	RED FLAME BISCANTINUS	HIERACIUM VAR. PUEBLOBIENSIS	1 GAL. 24" OC
	STELLA D'ORO DAVILLY	HEMEROCALLIS 'STELLA D'ORO'	1 GAL. 24" OC
	COOL BRUSH HONEYBUCKLE	DIERVA SESUICUOLA	1 GAL. 24" OC
HARDSCAPE & STONES			
	LIMESTONE BOULDER		AS NOTED
	PAVED PATIO & WALKS		AS NOTED

- PLANTING AND PAVING NOTES
- PROVIDE MULCH IN ALL LANDSCAPED AREAS
 - PLASTIC LANDSCAPE EDGING BETWEEN GRASS AND LANDSCAPE MULCH
 - FENCING TO BE 6" HIGH - BLACK CHAIN LINK
 - BITUMINOUS PARKING LOT
 - CONCRETE SURFACE ON WALK AND PATIO AREAS & TRASH/RECYCLING ENCLOSURE
 - AREA AROUND BUILDING OUT 25' ON SIDES AND TO BACK-PROPERTY LINE TO BE SEED FOR GRASS.
 - ALL DISTURBED AREAS TO BE SOODED.
 - ALL LANDSCAPED AND SOODED AREAS TO BE IRRIGATED.



EXAMPLE OF PROPOSED GAZEBO
 2 L1.1 NOT TO SCALE

**PRAIRIE
 SENIOR
 COTTAGES
 PHASE II**
ISANTI, MN

REVISIONS:

MARK	DATE	DESCRIPTION
	09-03-2019	

PROJECT #: 19-0001S

DRAWN BY: BMS

CHECKED BY: ELO

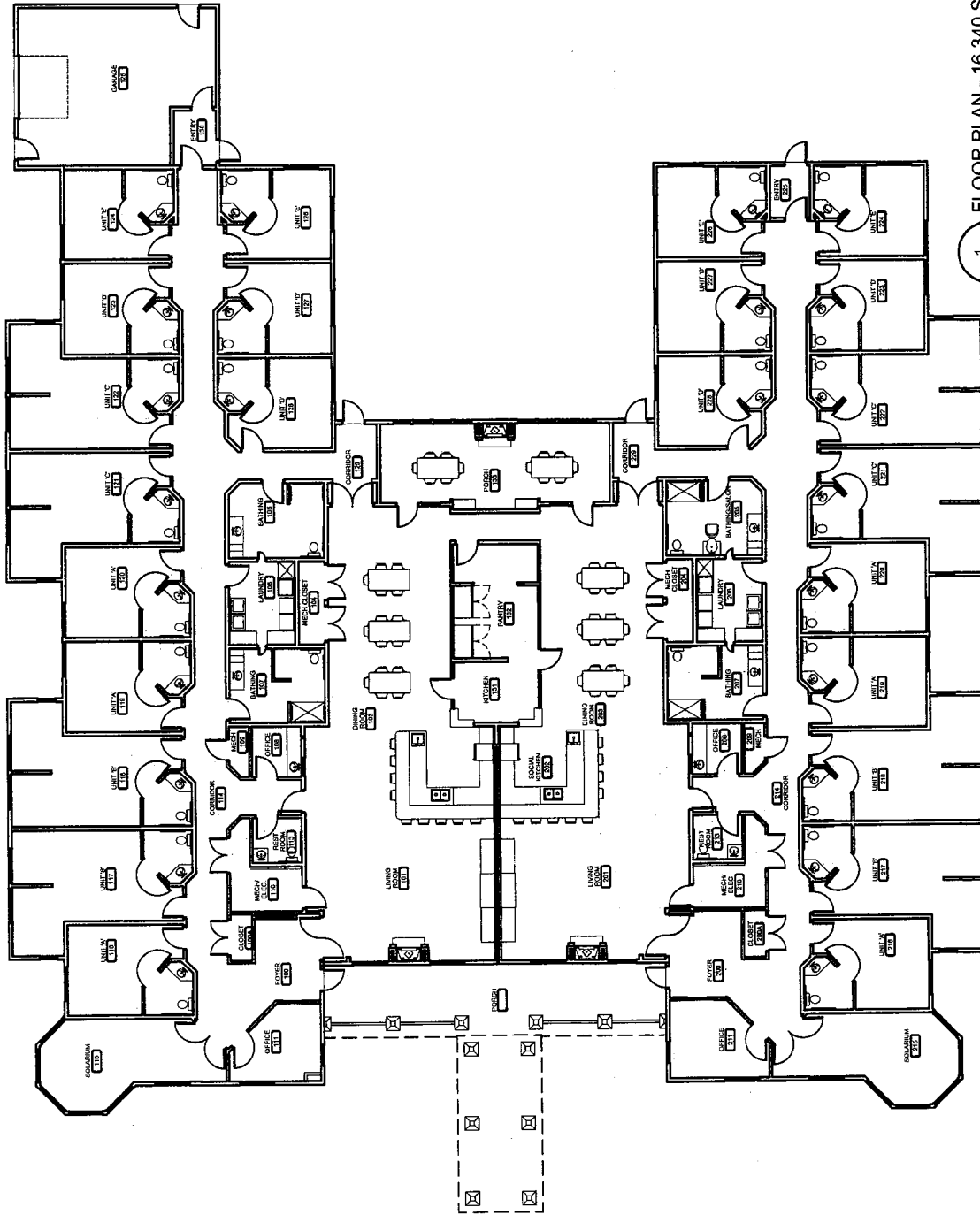
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SHEET TITLE:

FLOOR PLAN

SHEET:

A1.1



1 FLOOR PLAN - 16,340 SF (GARAGE 720 SF)
 A1.1 SCALE - 1/16" = 1'-0"

PRAIRIE SENIOR COTTAGES PHASE II
ISANTI, MN

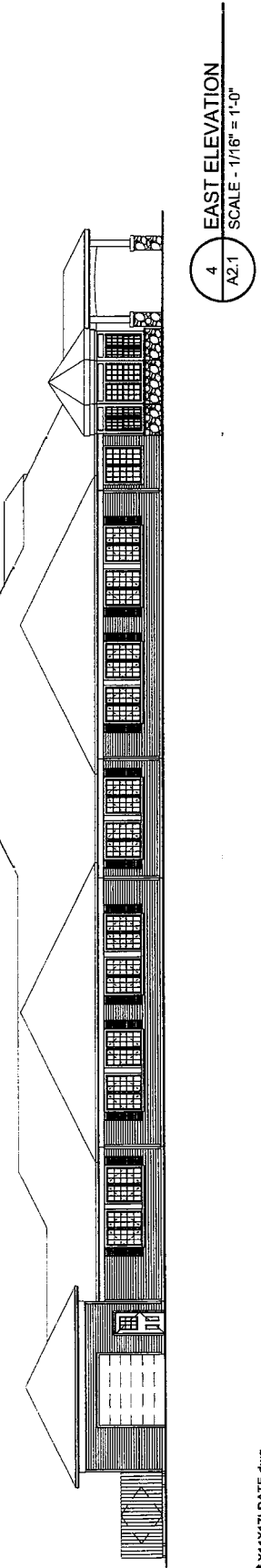
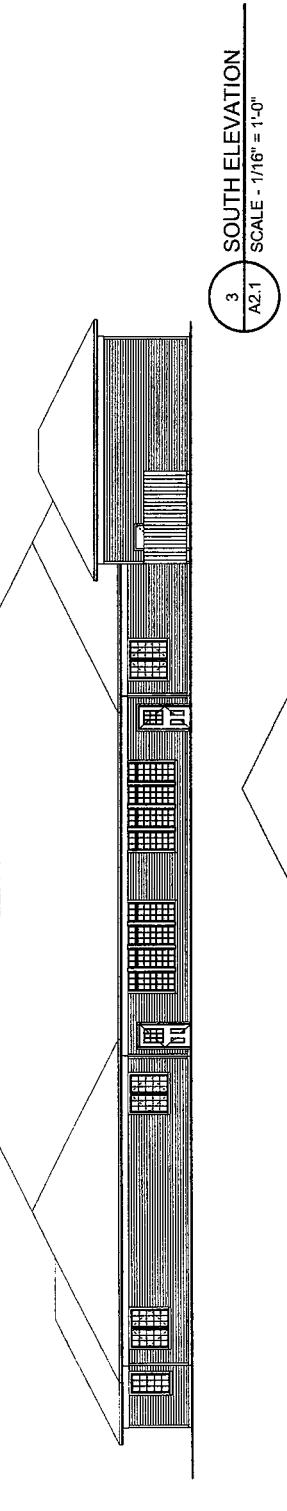
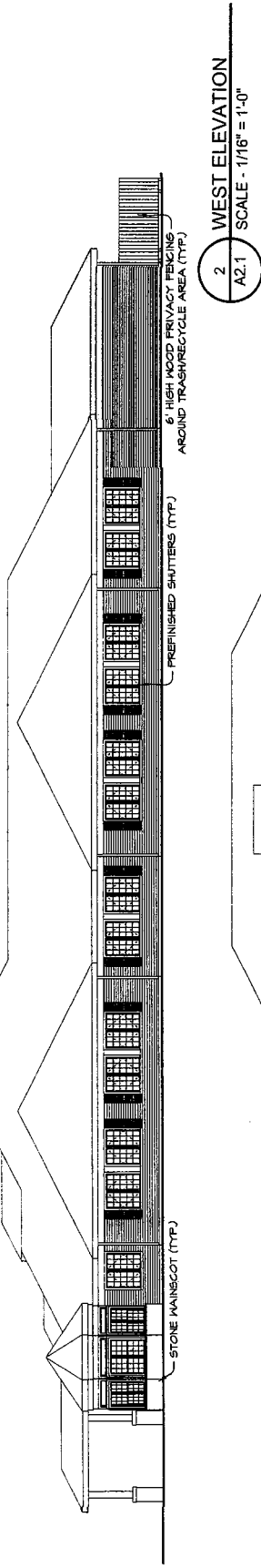
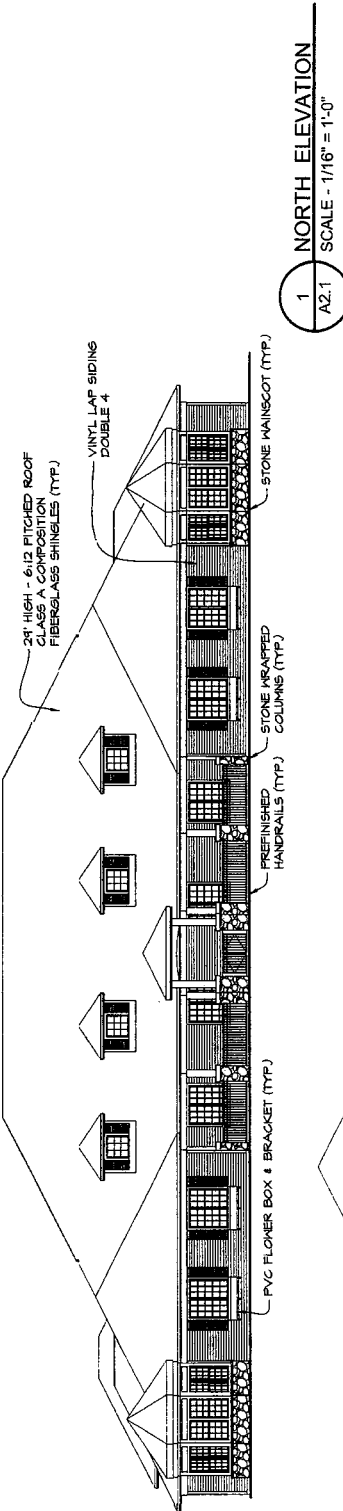
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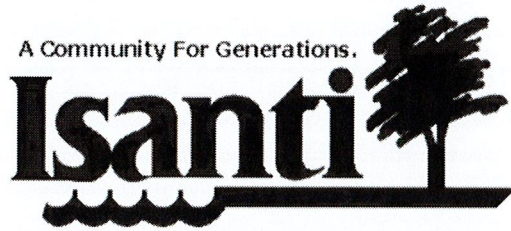
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	09-03-2019	

PROJECT #: 19-0301S
 DRAWN BY: BMS
 CHECKED BY: ELO
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 SHEET TITLE:


EXTERIOR ELEVATIONS

SHEET: **A2.1**



**MEMORANDUM**

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director 

DATE: September 17, 2019

SUBJECT: Villages on the Rum 6th – Final Plat

Request

The applicant Semler Homes Inc is requesting approval of a Final Plat, Villages on the Rum 6th addition to for 16 single family detached townhome lots.

Overview/Background

At the July 18, 2019 the Planning Commission approved the preliminary Plat of Villages on the Rum 6th Addition re-plating 32 townhome lots into 16 single family lots. At the August 7, 2019 City Council meeting the Council approved the preliminary plat with conditions.

Analysis of Application

The Conditions of approval have been met and the submitted plat reflects the conditions. The City Engineer approves the plat as submitted. The applicant has provided written documentation from the Home Owners Association (HOA) of approval for the re-plat and to allow the landscaping on common area.

Staff Recommendation

Staff recommends the following motion:

Move to approve the Final Plat for Villages on the Rum 6th Addition with the following Conditions:

1. The Developer must enter into a development agreement with the City of Isanti.
2. Setbacks are as follows:
 - a. Front: 5 feet
 - b. Side: 5 feet, 10 feet in-between buildings
 - c. Rear: 25 feet from adjacent right-of-way
3. The housing architecture shall be similar to a 1920's-1940's Vintage home, including Bungalow, Craftsman, Arts & Crafts, Victorian styles. The architectural styles of "Houses by Mail", by Katherine Cole Stevenson are incorporated by reference. This book is available in the Community Development Department.

Attachments

- Final Plat

VILLAGES ON THE RUM SIXTH ADDITION VILLAGES ON THE RUM SIXTH ADDITION THIRD ADDITION

CITY OF ISANTI
COUNTY OF ISANTI
WHISKEY ROAD
ISANTI COUNTY RIGHT OF WAY PLAT NO. 2

PLANNING COMMISSION
APPROVED BY THE PLANNING COMMISSION OF THE CITY OF ISANTI, MINNESOTA, THIS _____ DAY OF _____, 20____.

CITY CLERK
I hereby certify that this instrument was filed in the office of the County Recorder for public record on this _____ day of _____, 20____, at _____ o'clock _____ M and was duly recorded as Document Number _____.

CITY COUNCIL
I hereby certify that on this _____ day of _____, 20____, the City Council of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

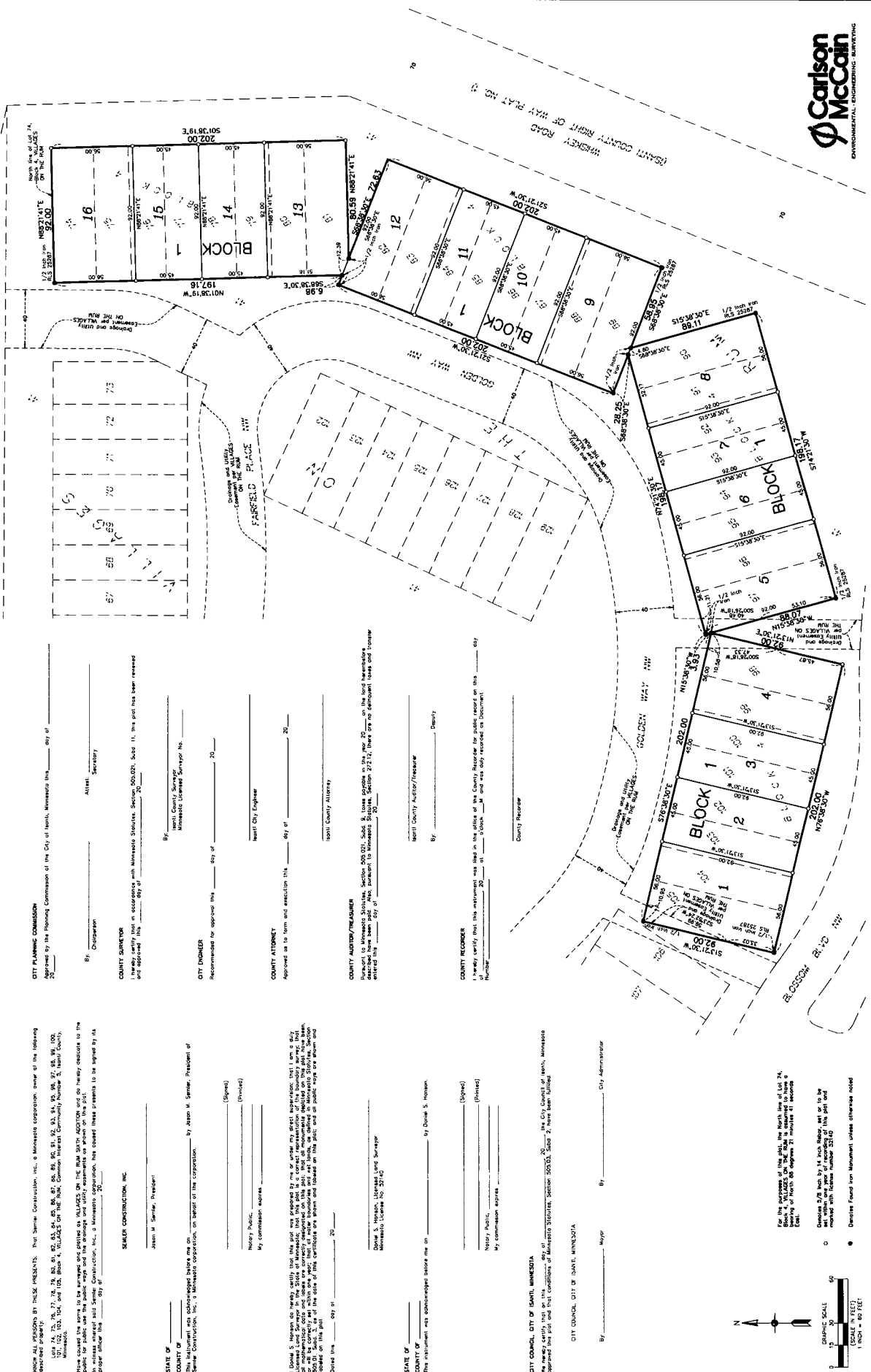
CITY ADMINISTRATOR
I hereby certify that on this _____ day of _____, 20____, the City Administrator of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY ENGINEER
I hereby certify that on this _____ day of _____, 20____, the City Engineer of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY ATTORNEY
I hereby certify that on this _____ day of _____, 20____, the City Attorney of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY PLANNING COMMISSION
I hereby certify that on this _____ day of _____, 20____, the City Planning Commission of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY CLERK
I hereby certify that on this _____ day of _____, 20____, the City Clerk of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.



STATE OF _____
COUNTY OF _____

SEALER CONSTRUCTION, INC.
I hereby certify that on this _____ day of _____, 20____, the Sealer Construction, Inc. approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

STATE OF _____
COUNTY OF _____

DAVID S. HANSON
I hereby certify that on this _____ day of _____, 20____, David S. Hanson approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

STATE OF _____
COUNTY OF _____

CITY OF ISANTI
I hereby certify that on this _____ day of _____, 20____, the City of Isanti approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

STATE OF _____
COUNTY OF _____

CITY OF ISANTI
I hereby certify that on this _____ day of _____, 20____, the City of Isanti approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY OF ISANTI
COUNTY OF ISANTI
WHISKEY ROAD
ISANTI COUNTY RIGHT OF WAY PLAT NO. 2

CITY CLERK
I hereby certify that on this _____ day of _____, 20____, the City Clerk of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY COUNCIL
I hereby certify that on this _____ day of _____, 20____, the City Council of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY ADMINISTRATOR
I hereby certify that on this _____ day of _____, 20____, the City Administrator of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY ENGINEER
I hereby certify that on this _____ day of _____, 20____, the City Engineer of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY ATTORNEY
I hereby certify that on this _____ day of _____, 20____, the City Attorney of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY PLANNING COMMISSION
I hereby certify that on this _____ day of _____, 20____, the City Planning Commission of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY CLERK
I hereby certify that on this _____ day of _____, 20____, the City Clerk of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.

CITY CLERK
I hereby certify that on this _____ day of _____, 20____, the City Clerk of Isanti, Minnesota approved this plat and that the conditions of Minnesota Statutes, Section 550.021, Subsection 2, have been fulfilled.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, November 19, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - E. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the September 17, 2019 Planning Commission Meeting.

3. Public Hearings
 - A. A request from Art and Science Academy for a Conditional Use Permit Amendment under City Ordinance 445, Section 6, Article 3, subd 4C. Said request is for a temporary storage container at 1005 7th Avenue NE PID 16.145.0010.

4. Other Business
 - A. Comprehensive Plan Update
 - a. Chapter 4 -The Economy
 - b. Chapter 5 - Natural Resources

 - B. Commissioner terms expire 12-31-19 (Except Collins 12-31-21)

5. Discussion Items

6. Adjournment

**City of Isanti
Planning Commission Meeting Minutes
September 17, 2019**

Call to Order: Chair Johnson called the meeting to order at 7:23pm

Roll Call: Commission members present: Mayor Jeff Johnson, Paul Bergley, Jimmy Gordon, Steve Lundeen, Aryssa Simon, Alexander Collins
Commission members absent: Dan Collinson
Staff Present: Sheila Sellman, Community Development Director

Meeting Minutes: Motion by Lundeen, Second by Simon to approve meeting minutes from Special Meeting August 7, 2019 and regular meeting August 20, 2019. Motion passed 6-0.

Public Hearing

request from Prairie Senior Cottages of Isanti LLC for approval of a site plan review, variance to the cul-de-sac setback, and Conditional Use Permit for a senior housing facility proposed phased II located at 705 6th Ave NE. Sellman gave the staff report stating the proposal meets development standards. Johnson opened the public hearing at 7:28pm, no one from the public was present, Johnson closed the public hearing at 7:29pm. Motion by Lundeen, second by Simon to approve. Motion passed 6-0.

Other Business

Request from Semler Construction, Inc for approval of Final Plat of Villages of the Rum 6h Addition. Sellman gave the staff report. The final plat replats 32 townhome lots into 16 single family lots. Motion by Lundeen, second by Gordon to approve. Motion passed 6-0.

Discussion items

None listed on the agenda. Bergley asked for an update on the hotel landscaping. Sellman reported that the second lift of the parking lot was complete and they were installing the additional landscaping that day. Johnson asked for an update on Dollar General. Sellman reported they filed the final plat and development agreement that day and can start construction once the building permit is issued.

Adjournment: Motion by Bergley second by Collins to adjourn. Motion passed 6-0, meeting adjourned at 7:50pm.

Respectfully Submitted
Sheila Sellman Secretary/ Community Development Director



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: November 19, 2019

SUBJECT: Conditional Use Permit Amendment – Art and Science Academy

Request:

The applicant, Art and Sciences Academy, is requesting a Conditional Use Permit (CUP) Amendment to allow a temporary storage container at 1005 7th Ave.

Overview/Background:

In 2017 a CUP was issued for the Art and Science Academy to allow for educational institutions in the R-3A zoning district, outdoor storage was not approved as part of that CUP. Outdoor storage is not permitted in the R-3A zone, but may be granted as part of a CUP. Section 227-8 D allows PODS on residential property for a 3-month period, the school is requesting the storage container be allowed for 7-10 years.

The applicant is requesting a 40'X8' (320 square feet) shipping container that is 8'6" in height be stored on the west side of the school. The school has run out of storage and currently rents a storage unit in town which is inconvenient when they need something. The applicant looked at alternatives and states that the shipping container is the most cost effective and secure. The school doesn't plan to expand the building until the school expands to 5-12 building and that won't be for a few years.

Analysis of Application:

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
In 2009 the Planning Commission and Council had many discussions on allowing shipping containers and the like as storage. At the time businesses were using shipping containers for storage rather than for their business use, which is not permitted by code unless by

CUP. The City spent a lot of time enforcing this matter and today shipping containers are not allowed as standalone storage units.

2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district. *Outdoor storage is not permitted in the R-3A district. To meet the purpose and intent a temporary pod for 3-months would be permitted.*
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort. *The establishment of the conditional use does not appear to endanger the public health, safety, morals and comfort of the surrounding area or the community. However, this container will be visible from HWY 65 and does not enhance the area. Staff has concerns with graffiti and general care of the container.*
4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood. *The container will be visible from HWY 65 and if not cared for properly (rust, dead grass, graffiti) it could affect the enjoyment of the surrounding area.*
5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *The conditional use will not impede on the normal and orderly development and improvement of surrounding property.*
6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed. *As part of the development agreement, the applicant is to construct a park facility adjacent to the subject parcel. After the park facility is constructed, the applicant will be conveying the property to the City for public use. This condition is met.*
7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located. *If permitted the container shall be subject to Subdivision 16 Outdoor storage, including but not limited to: surface area and screening.*
8. The conditional use complies with the general and specific performance standards as specified by within this Article. *As previously stated, this use is not permitted in this zoning district and does not comply.*

Staff Recommendation:

Based on the history of storage containers used for storage and outdoor storage not being permitted in the R3-A district staff recommends denial. Staff can support a temporary storage container for three months as permitted by the code.

If the Planning Commission approves the proposal staff suggests it be for less than 7-10 years and that screening be required as well as the container be placed on an improved surface.

Attachments:

- Applicant's Proposal
- Site Plan

Elementary Campus
903 6th Ave Ct NE
Isanti, MN 55040
Phone: 763-444-0342



ISD #4227

Middle School Campus
1005 7th Ave
Isanti, MN 55040
Phone: 763-444-0039

www.artandscienceacademy.k12.mn.us

CONDITIONAL USE AMENDMENT PROPOSAL

1. Project Background and Description

i Art and Science Academy (ASA) is applying for an amendment to the Conditional Use Permit for the Middle School located at 1005 7th Ave NE, Isanti MN 55040, Isanti County, Minnesota, USA.

The middle school property was just recently constructed and one of the oversights during the construction was a significant lack of storage in the building. The school is currently having to rent a storage unit in town which is on the other side of town and rather inconvenient when we need to get something. So, we have been looking for alternatives to a rental unit. Within what the school is able to afford, option 1 was looking at a small shed however most choices are cheaply made and easy to break into which is not ideal considering that the school is on the edge of town and secure storage is a concern. Option 2 is adding on to the building, which is in our plans down the road once the school expands to a 5-12 building but is not going to happen for the next couple of years and so a temporary solution is needed in the meantime. Option 3 is obtaining a shipping container for use on-site. This is a cost effective and secure option and the choice we'd like to go with. However currently, R-3 zoning doesn't allow for a portable container for more than 3 months. Since the school is on a conditional use permit, we are applying for an amendment to the CUP in order to allow for the container to [REDACTED]

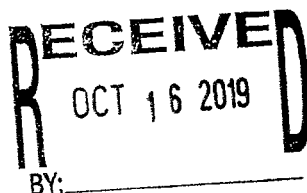
We see multiple benefits to this plan: it provides signage for ASA Middle School as the school is hard to see from the road; it provides secure watertight storage; and it is portable because we plan on expanding the building in the next few years so building a permanent structure is not practical. In anticipation of any potential concerns about a container being on site, it is our plan to purchase a CWO rated container which is the best quality used container possible with minimal rust/surface dings and still rated for watertight ocean shipping. The container will be repainted regardless to match the building and blend in as best as possible to minimize any visual impacts.

2. Location

i Current address: 1005 7th Ave NE, Isanti MN 55040, Isanti County, Minnesota, USA.
Legal description: Parcel ID: 16.145.0010, Lot 001 Block 001 of ARTS AND SCIENCE ADDITION, ISANTI COUNTY, MINNESOTA. Full legal description is attached to this proposal.

3. Site Plan/Project Plan

i Currently Google Maps has yet to update their maps of the site, so we had to use approximate locations on the map to show the proposed location of the container. The original survey is attached to this proposal.



CUP Amendment Additional Info

School Administration

Kevin Fitton
Executive Director

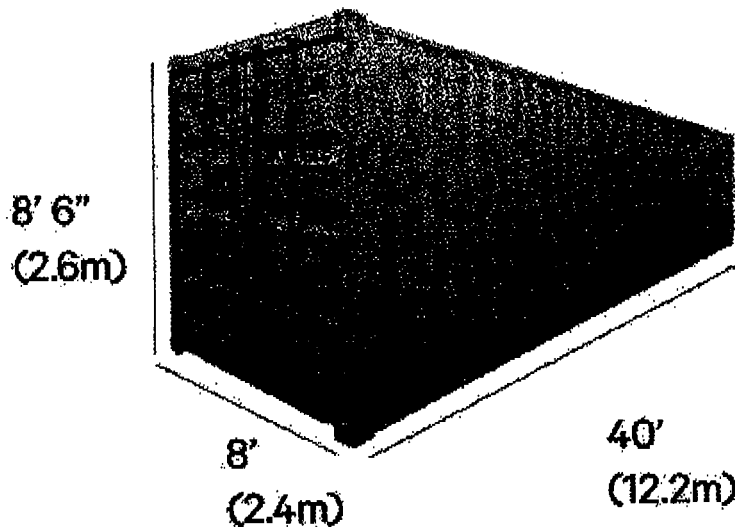
Sasha Brady
Elementary Principal

Sharon Moberg
Middle School Principal

To: Community Development Director – Sheila Sellman
10/28/2019

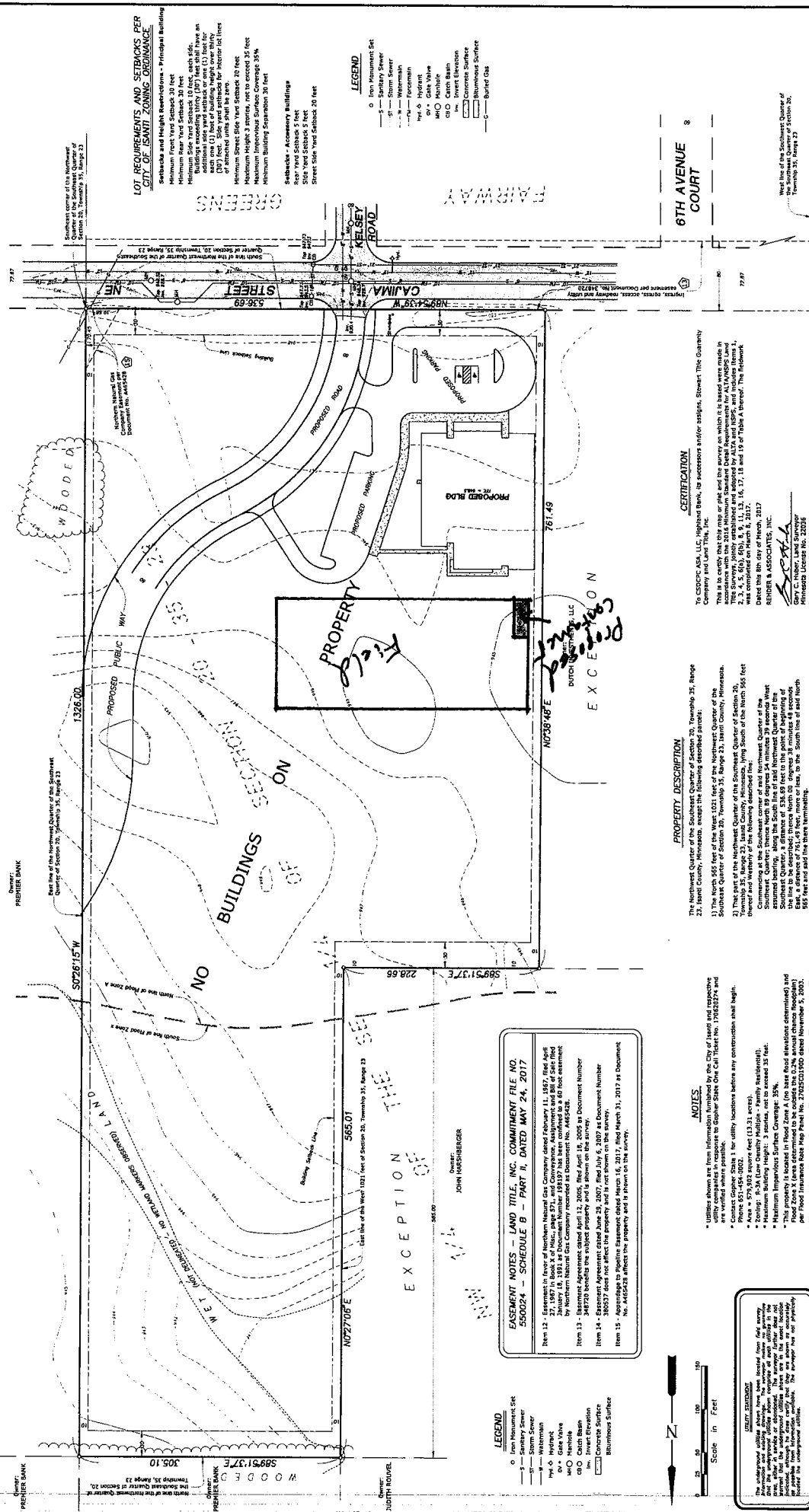
We were requested to provide some additional information to our CUP amendment.

1. How long do we plan to have the storage unit?
 - a. Until the school expands the middle school building into a 5-12 building. There is a substantial lack of storage space in the current building. Estimating approximately five years until that happens so we would like to request at least 7-10 years in the amendment from the time the container gets placed on site. Wanted to include a bit of leeway in case construction is delayed.
2. What are the dimensions of the unit?
 - a. Standard 40ft shipping container, 8ft wide.
3. Picture of unit
 - a. This is not the exact one, as it hasn't been ordered until the CUP is approved. But to give an example of the kind of unit that would be ordered.



ALTA/NSPS Land Title Survey for:
CSDCPC ASA, LLC

OCT 16 2019
 BY: [Signature]



LOT REQUIREMENTS AND SETBACKS PER CITY OF ISANTI ZONING ORDINANCE
 Setbacks and Height Restrictions - Principal Building
 Minimum Front Yard Setback 30 feet
 Minimum Side Yard Setback 10 feet
 Minimum Rear Yard Setback 30 feet
 Proposed Buildings exceeding thirty (30) feet shall have an additional 5 feet setback from the rear property line and an additional 5 feet setback from the side yard setback line.
 Maximum Height 3 stories, not to exceed 35 feet
 Maximum Impervious Surface Coverage 35%
 Minimum Building Separation 20 feet
 Setbacks - Accessory Buildings
 Front Yard Setback 5 feet
 Side Yard Setback 5 feet
 Street Side Yard Setback 20 feet

LEGEND
 Iron Monument Set
 Survey Marker
 Mason
 Well
 Water Main
 Hydrant
 Gas Valve
 Gas Meter
 Invert Elevation
 Concrete Surface
 Blumhouse Surface
 Burned Out

LEGEND
 Iron Monument Set
 Survey Marker
 Mason
 Well
 Water Main
 Hydrant
 Gas Valve
 Gas Meter
 Invert Elevation
 Concrete Surface
 Blumhouse Surface
 Burned Out

CERTIFICATION
 To CSDCPC ASA, LLC, Highland Park, IA, successors and/or assigns, Stewart Title Guaranty Company and Land Title, Inc.
 This is to certify that the map or plat and the survey on which it is based were made in accordance with the laws of the State of Minnesota.
 The Survey, jointly established and adopted by ALTA and NSPS, and including Items 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19 of Table A hereof. The fieldwork was completed on March 14, 2017.
 DATED this 8th day of March, 2017
REHDER & ASSOCIATES, INC.
 Gary C. Rehder, Land Surveyor
 Minnesota License No. 2005
 Revised May 30, 2017

PROPERTY DESCRIPTION
 The Northwest Quarter of the Southeast Quarter of Section 20, Township 35, Range 23, Isanti County, Minnesota, except the following described parcel:
 1) The North 565 feet of the West 1031 feet of the Northwest Quarter of the Southeast Quarter of Section 20, Township 35, Range 23, Isanti County, Minnesota.
 2) The part of the Northwest Quarter of the Southeast Quarter of Section 20, Township 35, Range 23, Isanti County, Minnesota, lying South of the North 565 feet commencing at the Southeast corner of said Northwest Quarter of the Southeast Quarter; thence north by degrees 74 minutes 29 seconds West 1031 feet to the Northwest corner of said Northwest Quarter of the Southeast Quarter; thence north by degrees 534.09 feet to the point of beginning of said Northwest Quarter of the Southeast Quarter of Section 20, Township 35, Range 23, Isanti County, Minnesota, a distance of 761.49 feet, more or less, to the South line of said North 565 feet and said line thence terminating.

NOTES
 * Utilities shown are from information furnished by the City of Isanti and respective utility companies. It is the responsibility of the client to verify the location and depth of all utilities shown on this plan.
 * Contact Gopher State 1 for utility locations before any construction shall begin.
 * Area = 275,023 square feet (13.23 acres).
 * Zoning: R-3A (Low Density Multiple - Family Residential).
 * Maximum building height: 3 stories, not to exceed 35 feet.
 * This property is located in Flood Zone A (no base flood elevations determined) and Flood Zone X (area determined to be outside the 0.2% annual chance floodplain) and Flood Zone 1 (area determined to be outside the 0.2% annual chance floodplain).
 * All zoning information taken from the City of Isanti Web Site. The zoning ordinance, all zoning requirements, the height and floor space area restrictions, and parking building setbacks.
 * There was an observed evidence of earth moving work, building construction or building additions.

EASEMENT NOTES - LAND TITLE, INC. COMMENT FILE NO. 550024 - SCHEDULE B - PART II, DATED MAY 24, 2017
 Item 12 - Easement in favor of Northern National City Community Association, Inc. 1997. The fee was recorded in Book 4 of Public, page 271, and Conveyance Assignment and Bill of Sale filed January 18, 1997. The easement number 1997 has been corrected to 460 foot easement.
 Item 13 - Easement Agreement dated April 12, 2005, filed April 18, 2005 as Document Number 348770 benefiting the subject property and is shown on the survey.
 Item 14 - Easement Agreement dated June 29, 2007, filed July 6, 2007 as Document Number 380557 benefiting the property and is shown on the survey.
 Item 15 - No. 485628 affects the property and is shown on the survey.

EXCEPTION
 The area shown on this plan is an exception to the survey and is not to be used for any purpose other than the purposes for which it was created. The surveyor has not physically examined the property and the survey is based on the information furnished by the client.

OWNER: JOHN HODSRIEBER
 Owner:
 JOHN HODSRIEBER

OWNER: JOHN HODSRIEBER
 Owner:
 JOHN HODSRIEBER

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 Owner:
 JOHN HODSRIEBER



Memo for Planning Commission

To: Chairman Johnson and Members of the Planning Commission
From: Don Lorsung, Assistant City Administrator/Special Projects
Date: September 27, 2019
Subject: Comprehensive Plan Update – Chapter 4, The Economy

Introduction

The City of Isanti has had good economic growth since the 2008 Comprehensive Plan. Through its Economic Development Authority (EDA), the City has achieved major economic goals, with location of a Medical Clinic, Pharmacy and Hotel in the City. There has also been substantial industrial growth, with location of the Ever Cat Biodiesel Facility, featuring a new process for production of biodiesel, and recruitment and relocation of SnoBear USA in the City from an adjacent state. Commercial development has also continued, with new development on the south side of the Highway 65 and Heritage Boulevard intersection, with location of a new Coborn's Grocery Store, containing a pharmacy, and an O'Reillys Autoparts store on the east side of Highway 65. Commercial development on the west side of Highway 65 includes an Allina Medical Clinic, Best Western Hotel and redevelopment of the former Riverside Market site with a Kwik Trip Store. The City has received recognition of its economic development efforts with awards from the Economic Development Association of Minnesota.

With its location along a major highway corridor and continued growth in population and households, the City has the ability to draw a variety of commercial businesses. Its location also continues to be attractive to industrial development. Installation of roads and infrastructure on the east side of Highway 65 have opened substantial tracts of property to commercial development. There are also lots developed and ready for commercial development on the southwest side of highway. Recent development of the Allina Clinic and Hotel could assist with getting infill development on those lots in the next decade. There is also open commercial land available on the northwest side of the intersection.

The City has and continues to be involved and deliberate in economic development. Opportunities range from new commercial businesses locating in Isanti to potential location of a large industrial expansion. With those opportunities, there is substantial competition in our region for commercial and industrial projects. In the next 10 years, there will need to be planned efforts and targeted investment by the City to make development happen. Depending on the project, there may also be regional and state assistance. Those developments provide local jobs, shopping and tax base for the growing City. Commercial and industrial development should be planned to complement the existing land uses, natural amenities and growth patterns in the city.

Existing Conditions

Past planning efforts have placed the City in good position for commercial and industrial growth. While a majority of land in the city limits is guided for residential development, a substantial portion has infrastructure for commercial development. There is also substantial acreage available in the Industrial Park. The City also owns undeveloped land adjacent to the BNSF railroad that has been preliminary planned for a possible rail industrial park. Regarding commercial uses, with the changing retail and office commercial environment a market study may be necessary to refocus City recruitment efforts. Local industries should continue to be contacted on an annual basis regarding both possible expansion opportunities, as well as what ancillary businesses could be recruited to enhance their production capabilities. As noted in the 2008 Comprehensive Plan, a majority of residents are still commuting for jobs outside the City, with the majority heading into the metropolitan area. Local job growth provides opportunities for new employees, if the jobs can be created at wage levels that would be attractive to commuters.

Employment in Isanti

The potential workforce in Isanti is described as those residents between the ages of 16 and 65. That would include 65% of City residents. Of those potential employees, 1,525 or 38% are in the local labor force. The following table shows the categories of Isanti businesses and industries where residents were employed in 2014 and 2019. The largest employers in 2019 were in Education & Health Services, Trade, Transportation & Utilities, and Manufacturing.

Table 1

City of Isanti Employment by Industry

	2014		2019	
Construction	5%	50	5%	86
Manufacturing	17%	172	13%	253
Trade, Transportation & Utilities	14%	147	35%	678
Financial Activities	3%	34	4%	76
Education & Health Services	27%	281	30%	588
Leisure and Hospitality	22%	220	9%	163
Other Services	8%	77	2%	40
Public Administration	4 %	45	2%	46
Workforce population	100%	1,026	100%	1,930

Source: Mn DEED / City of Isanti

Travel and Commuting

As noted in the last comprehensive plan, many residents continue to commute to the Twin Cities metro area for their work. In a recent DEED report, in our region 59% of workers commute to employment outside of the area. Commute times average 35 minutes. Of those commuting, 82% are driving their own vehicle, 12% carpool with others, 1% take mass transit, and 5% work from home. The percentages of those traveling alone and carpooling has little to no change over the past 10 years. Mass transit options and links are available to connect to metro transportation in Anoka County, but the timeframes and availability is limited. It is uncertain in the next 10 years if mass transit options will improve. The City should continue to work with neighboring communities and regionally to increase transportation options. Planning should also continue for future carpooling parking locations, in conjunction with consideration of future passenger rail options. A growing trend that should be recognized is the number of employees that work from home. For many who do this, it is a combination of work from home and work in the office. Whether fully or part-time from home, this reduces the cost of commuting and encourages the economic benefit of buying more locally. With continued improvement in technology, the number of workers that spend at least part of the work week in their home will continue to increase in the next 10 years.

Income

The table below shows the current incomes of Isanti residents in 2017. As portrayed in Table 2, 23.9 % make less than \$40,000 a year, 49.1% make between \$40,000 and \$100,000 a year, and 26.99% make over \$100,000 a year. Regionally, Isanti continues to have higher income levels than neighboring communities. Economic opportunity locally and in the adjacent metropolitan area lend to higher income levels. This is significant in both recruitment of commercial and local services and labor force potential for industrial firms looking to relocate.

Table 2

City of Isanti Household Income

Income	Households	Percentage
Less than \$10,000	84	3.85%
\$10,000 to \$20,000	103	4.73%
\$20,000 to \$30,000	140	6.44%
\$30,000 to \$40,000	194	8.89%
\$40,000 to \$50,000	246	11.29%
\$50,000 to \$60,000	198	9.07%
\$60,000 to \$75,000	259	11.86%
\$75,000 to \$100,000	368	9.07%
\$100,000	589	26.99%
Total	2,181	100%

Source: US Census

As shown in Table 3, supportive of previous discussion, the median income of Isanti in 2017 is \$83,103. This is 121% of the State median income. This is a continuing and increasing trend from the data that was collected from 2006, where the median income of Isanti was \$58,419, 110% of the State median income of \$53,106.

Table 3

	City of Isanti City and State Median Household Income		
	<u>Isanti</u>	<u>State of MN</u>	<u>% of State</u>
Median income	\$83,103	\$68,400	121%

Source: US Census

Employment

The City has enjoyed increased local employment opportunities with growth in retail, service and industrial sectors. As of 2019, the City of Isanti is home to 182 businesses and 1,930 employees. This compares to 1,145 jobs in 2005, a 59% growth rate. In comparison, the East Central Region experienced a 6% growth rate in the same time period. Part of the lower regional growth was loss of jobs in the great recession and a continuing tight labor market due to retiring workers and fewer replacement workers. Projections for job growth in the East Central Region in the next several years are in the following categories : Healthcare Support, Healthcare Practitioners, Personal Care Services, Computer and Mathematical, Community and Social Service (Source: DEED). Addition of direct and support businesses in these categories will be advantageous in growing the local economy. The Region and City will also be facing an aging workforce, so development of a skilled workforce and succession planning will be important. The City, through its EDA as the lead agency, should continually monitor labor and employment trends and target resources to take advantage or create opportunities for economic growth.

Land Use / Growth

The 2008 Comprehensive Plan provided direction on land use designation and development in the City. Current land uses (2019) are listed out by zoning designation in Table 4-Land Uses. The City has open space for commercial and targeted industrial growth. The future land use map is still valid and will be reviewed as a part of this comprehensive plan update. That map provides a guide for further growth of the City.

Table 4

City of Isanti Zoning / Land Use

Land Use Category	Gross Acreage	Percent
CBD	18.26	0.64%
CBD Transitional	26.49	0.92%
Neighborhood Commercial	7.66	0.26%
General Commercial	264.62	9.24%
Industrial	226.25	9.29%

Source: City of Isanti

The land use plan includes the commercial and industrial zoning areas listed above in the Table. Each zoning designation has both permitted and conditional uses that serve to accommodate commercial and industrial development that are beneficial to City economic development and are included in the future land use map. A general description of these areas is made in the following sections:

Central Business District

The Central Business District (CBD) classification encompasses what is considered the traditional downtown area of the City. This is where most general commercial uses were once located. It contains historical buildings and locations. In Isanti, as with other cities, commercial use of historical buildings has shifted from a general commercial base to specialty commercial or retail, and commercial services. There is also mixed residential use; ranging from commercial buildings with second floor apartments to single family homes. The historic downtown provides both re-use and rehabilitation opportunities for commercial and mixed use buildings. Although the core historic downtown area is located off the main vehicular traffic route, Heritage Boulevard, it retains good access to that street and is also served by a eastern controlled access connection via Main Street to State Highway 65 and Whiskey Road (CSAH 23).

Central Business District Transitional District

These sub-districts were put in to accommodate both historic commercial, housing and light industrial areas adjacent to the BNSF railroad tracks and core central business district areas. They are two district transition areas. The area on the east side of the railroad was part of the historic industrial complex for the City and the area on the west side contains a mix of historic commercial and vintage single-family housing. The districts allow current uses and provide direction for future redevelopment to accommodate mixed use commercial and public purposes.

Neighborhood Commercial

This commercial designation is for small limited commercial areas that serve the adjacent residential neighborhoods. These are typically guided for outlying residential neighborhoods that don't have immediate access to the CBD or General Commercial area. Uses such as a small grocery store, coffee shop/deli, personal and health type services would be located here.

General Commercial

This classification is for the highway or arterial general business district for the City that is adjacent to State Highway 65. The City is fortunate to have large segments of land guided for commercial development on the east and west side of State Highway 65. This area is guided for both retail and service commercial, and contains larger commercial lots. The most recent developments include a Best Western Hotel, Allina Medical Clinic, Coborn's Grocery Store, with a pharmacy and coffee shop, and an O'Reilly's Auto Parts store. In order to ensure the quality of development, the City has placed an overlay district on parcels with direct visual access to the highway. Areas southeast and southwest of the Highway 65/Heritage Boulevard intersection have benefitted from road and utility systems that have been developed to interconnect the commercial areas to existing road systems. This area has seen the most commercial growth in the past ten years. The commercial area northeast of that intersection has the most open contiguous land with the fewest constraints on development. It will take extension of a central road system and utilities to assist in encouraging development of the area. With the change in the retail market since 2000, the hope for larger commercial development may not happen. Smaller mini mall or freestanding commercial or service specialty buildings may end up locating in this area in the future. As with past consideration of an Assisted Living Facility in that area, the City will need to periodically evaluate commercial uses that could be guided for that area. The City should also consider higher density residential development in the eastern areas of this district. This residential use would provide a buffer between the highway commercial development and low-density residential development to the east. It would assist both with the need for that housing stock in the City and provide both customer and employment base for recruitment of businesses to locate in the commercial corridor.

Industrial

The City has industrial uses in the Central Business District Transitional areas and north of Heritage Boulevard, adjacent to First Avenue NW. Overall, the uses are light industrial and service commercial in nature. Industrial uses also located adjacent to East and West Dual Boulevard. That area also has metal fabrication and machining uses. In the early 2000s the City developed an industrial park addition just north of the Dual industrial area, that extended to Cajima Street NE and west of Enterprise Avenue NE. Since then several industrial companies have located to facilities constructed in that addition. Incubator facilities consisting of smaller "suites" in single multi user buildings were also built to entice smaller companies to locate to the park, hoping that their growth would lead to future independent facilities or location of ancillary facilities in the park. The City has achieved two landmark developments, with location of the Ever Cat Biodiesel Facility and

relocation of the SnoBear USA Facility in the park. The industrial park is 62 acres in size, and at the time of this update, 24 acres in various size parcels are still available for new facilities. There is also the potential of expansion of the park north of Cajima Street NE, as there are 32 acres of privately held land available. The City has and will continue to work with that property owner on development of that parcel.

There is also 80 plus acres of City owned property northwest of the current park on the west side of the BNSF railroad line that has been preliminarily planned as a potential future rail industrial park. Studies have been done by Isanti County and this site has been designated as the most feasible site. The question becomes whether sufficient resources from public and private sectors can be brought together for this project. A commitment by a major user would assist in gaining both public funding and railroad support to move the project ahead. Additional land could be freed up for this project with conversion of the existing wastewater pond processing plant to a mechanical plant that would take up a much smaller footprint. Development of the park is a major goal for the City's Economic Development Authority.

City Role In Economic Development

Isanti has and should continue to take a lead role in economic development efforts in the City. The City Council has included economic development initiatives as a part of its annual strategic planning. Resources have been provided for proactive economic development, with activities ranging from periodic meetings with local businesses to active recruitment of new businesses and industry. The Economic Development Authority, through its Comprehensive Economic Development Strategy (CEDS) and on-going work plans, have directed staff with annual initiatives and projects. Periodically, the City has also worked with other local governments, chambers of commerce, regional economic development groups and Isanti County on economic development matters, when such membership, projects or programs would be beneficial to the City. It is encouraged in these days of limited resources, that the City continue to evaluate possible joint ventures to achieve its economic development goals.

As discussed in the past comprehensive plan, there is validity in reviewing the following areas that the City can focus on in its economic development efforts over the next decade:

Economic Development Contact

It is encouraged that the City remain the primary contact for information and resources for businesses and developers. This includes information on the City, demographics and resources. The City should have information available on the Centennial Industrial Park, as well as other properties and space available in the City. Relationships with local businesses should be continued through annual business retention meetings and periodic contacts. This is crucial, as local business growth is primary in gaining local employment opportunities. In working with developers or site selectors, the City should be involved in coordinating resources, both City and external, to assist in making projects viable. Overall, the environment for economic development needs to be positive and

supportive from the policy makers to the citizens for the City to be successful in achieving economic development goals.

Housing Development

The City needs to be supportive in working with local developers to meet housing demands in the City. This ranges from work with developers on single family residential projects to meeting the demand for multi-family and senior assisted living housing. Increases in population in turn drive commercial demand and provide a local workforce for industry.

Commercial Development

The City has had recent success in fulfilling commercial development goals. Commercial goals include commercial building development/redevelopment, commercial retail businesses, and service commercial businesses. Additional study and planning should be undertaken to identify unmet commercial needs and what businesses the City can attract in the commercial sector. The Highway 65 corridor brings opportunities that Isanti should capitalize on.

Analysis and Recommendations

The Downtown

The Downtown serves as the historical center and core of commercial development. The City should work to retain existing service commercial and specialty businesses. The specialty businesses are often destination businesses, with both a local and regional draw. The draw of outside customers could provide business for existing commercial entities in the Downtown or other commercial areas of the City. City marketing efforts should seek additional businesses that complement the existing Downtown businesses or provide new commercial services that are not available in the community. The City should also consider expansion of its definition of ‘downtown’. The commercial area adjacent to the east of the historical downtown is in reality part of the “downtown”. Extension of the area from Main Street to Highway 65 and north from Heritage Boulevard to First Avenue NW could be considered. With that, transportation corridors could be designated, roadway lighting to define the new areas could be installed and development and redevelopment areas redefined. From a marketing perspective, the area could be marketed together, with events and promotions.

Highway 65 Corridor

As discussed in the past comprehensive plan, the southern end of Isanti along Highway 65 is the “gateway” into the City and development along there sets the tone for the highway commercial area. The City has recognized this and has placed a zoning overlay district that regulates and encourages quality development in new buildings and developments. The City should continue to use its site plan review process to evaluate projects, buildings and site amenities. The City should also consider if it actively wants to get involved in commercial development, especially on the east side

of Highway 65 from Heritage Boulevard to Cajima Street NE. The area needs to have completion of interior road and utility systems to encourage it to develop in a planned phased manner. If the City chooses not to be involved, there could be commercial development that would be detrimental to its future development. There is also opportunity on the east end of the commercial district near 8th Avenue for multifamily housing development. This development could serve as a catalyst for further commercial development. This should be considered in City land use planning. As a final note, there are natural amenities in these areas that include woodlands, ponds and wetlands that should be factored into development plans for these corridor areas. Inclusion of these systems is a benefit to the City and the environment.

Neighborhood Commercial

As neighborhoods develop on the east side of Highway 65, land use plans should include guidance for development of neighborhood commercial locations to provide businesses that would serve the adjacent commercial areas as discussed earlier in this Chapter. With those designations, transportation corridors, including pedestrian and non-motorized access needs to be planned for such commercial developments.

Industrial

The City is and will continue to actively market industrial park land; “shovel ready lots” for industrial development or expanding or new industry. Opportunities are available for public and private partnerships to expand industrial development and employment opportunities in Isanti. The City should continue partnerships with regional economic development groups and State agencies to assist with development efforts, especially with the potential Rail Industrial Park Project. The City should consider direct contact and marketing to north metro firms to get leads and potential business relocations.

Economic Development Tools

The City has and should continue the use of economic development tools, such as tax increment financing, tax abatement, and revolving loan funds to achieve economic development objectives and goals. Resources from other agencies, such as the East Central Regional Development Commission, Initiative Foundation and the Minnesota Department of Employment and Economic Development can also assist with economic development projects and initiatives.

Objectives:

Economic development goals and strategies are provided in Chapter 1. The following list are additional objectives for consideration.

- 1) Look to partnerships with local and regional public entities and private firms to begin steps to develop a rail industrial park.
- 2) Prepare a new Downtown Plan to incorporate the historic downtown area and adjacent commercial area west of Highway 65 to tie these commercial areas together with specific lighting, signage and transportation improvements for both vehicle, non-motorized and pedestrian usage. Recognize the impact that housing in and adjacent to this district has on sustaining the commercial viability of this commercial area.
- 3) Review commercial development needs regarding road and utility systems in the east highway 65 district. Consider if partnerships are necessary for development of this commercial area. Consider multi-family housing development on the west side of this commercial area.



To: Chairman Johnson and Planning Commission

From: Don Lorsung, Asst. City Administrator / Special Projects

Date: November 14, 2019

Subject: Comprehensive Plan Update, Chapter 5 – Natural Resources

Introduction

“Prioritize, Protect, Preserve and Conserve Natural Resources to ensure compatibility of land use planning and development”. (2008 City of Isanti Comprehensive Plan, Chapter 5, Natural Resources)

The 2008 Comprehensive Plan recognized the need to preserve the natural resources of the area, including watercourses, wetlands, woodlands and sensitive environmental features that either are or will in the future, be a part of the City. The City will continue to grow out into these natural areas in the next 10 years, and depending on land use planning and how approved development proceeds, the areas will be altered, maintained or possibly enhanced. It is not just the City that will make these decisions as new land areas are added over time, but also the current governmental jurisdictions that control zoning and current development activities. Increasing rural residential development, allowed by current planning and zoning authorities is one example of a change that is currently affecting natural systems.

Part of the past comprehensive plan effort included substantial resources being placed to study, identify and make recommendations on natural areas either in corporate limits of the City at that time, but also the future planning areas. Adjacent areas were also studied, as water courses (creeks, ponds and Rum River) wetland and woodland complexes are often interrelated with those areas. This Chapter’s intent will be to recheck the past plan for validity, report on current situations, and provide any additional goals and recommendations for this update’s time period.

Continued sustainability of natural systems remains the key for those systems remaining relevant and productive not just for wildlife and ecological systems, but also for urban systems which will be integrated over time. One example of this is the integration of storm water systems as construction of non-pervious roadway, building and lot treatments change the natural ability of the land to absorb and treat rainwater. It is possible through well designed storm water systems to absorb, hold and release water, sediment, phosphorus and other chemicals in a way not to tax the capacity of creeks, ponds, wetlands and ultimately the Rum River, which is a high valued pristine river. Another example is retaining and enhancing wildlife corridors in the City, either through retention of natural areas, improvement of passive park lands, or even conservation easements. These allow for wildlife to move through the City from adjacent rural areas to natural areas in the City and the river basin. Recognition of the need to include these items lends to development of a Conservation Planning Approach.

Conservation Planning

The Conservation Planning Approach was and continues to be recognized as a way to move forward with development of the City with ecological factors as a priority. This Chapter can re-affirm past discussion and recommendations, but if they are not included in updates of the zoning, subdivision and development codes, they remain words in a document to the detriment of the current and future citizens and the City as a whole. As an example of possible implementation, the City allows flexible zoning through planned unit developments, which could be used on land that has already been altered through farming activities but contains valued natural systems. It would allow the altered land to be developed to a higher density, with the land containing natural systems to be retained through easements or public dedication. This approach allows development to proceed in densities making sense for extension of roadway, utilities and private investment.

The Conservation Plan was developed by the naturalists as a part of the 2008 Comprehensive Plan and is related through a series of maps and text in that document. Field work by staff for this comprehensive plan update have verified that the plan is valid and should be utilized in the time period of this update and beyond, serving as a guide for the conservation and development of the City.

Conservation Planning Goals

The following approaches should continue to be utilized to protect existing natural resource areas in present and future Isanti:

- Enhance Existing Park and Recreation Lands. The City has acquired land that are now passive parks. The natural areas that are present should be enhanced through plantings of vegetation that was native at the time of settlement. Examples of this include re-establishment of white pine stands in Legacy Park and plantings of trees and native grasses to re-establish oak savanna in River Bluff Preserve. In active

recreational areas, native grasses could be established in non-mowed areas and tree canopies with native diverse species could be established or enhanced.

- Protect Public Interest Land – Public interest land is land that is held in ownership or easements by government entities such as the School District, County or State in the City of Isanti or its planned growth area. Such lands as previously identified in the conservation plan and those lands that potentially be acquired should be monitored for both potential enhancement and stabilization of natural systems on such properties.
- Future Proposed Park – The 2008 plan included a proposed “Grand Rounds” park that would be composed of private land adjacent to the Rum River, Isanti Brook and Spirit Brook and their contributing wetland / woodland areas. These lands would be targeted for acquisition through development contributions, dedications by owners, or acquisition using public funding from local or state sources. The proposed park would provide a corridor for natural systems and wildlife that move through these flowages. Areas would be managed to enhance their natural systems. Public use could include interpretive sites that identify natural features and species and public trail systems to provide natural trails and linkages between parks and City sidewalk/ trail systems.
- Stormwater Management Lands- These lands are also addressed in the existing plan. They serve two purposes. The first is to assist in capturing increased runoff from developments, slowing release of storm water to preserve natural vegetation and slow erosion, and the second is the filtering of stormwater to capture sediments and elements that would be harmful to the waterways. Since the 2008 plan was developed, the City has established a storm water utility and storm water regulations that will assist with conservation and possibly enhancement of natural systems. The City should also review its zoning and subdivision ordinance regarding setbacks for development and buffers, to separate natural areas from development based on development density and other attributes. Other options previously discussed and applicable for consideration include: stormwater area easements, a low impact development ordinance, and closed basin ordinances. Retro-fitting of existing developments to minimize impacts of stormwater on wetlands and waterways is another option to assist in preservation.

Land Use Regulations

Besides park, public use and stormwater management lands, private lands that will be developed for residential development represent the largest land use group where conservation planning efforts should be directed to. This would be through the development of incentives, standards and regulations regarding the density and placement of development, location of roads, and utility systems. The City had the planning tool of planned unit developments in place at the time of 2008 plan which provided for flexibility and creativity in subdivision and

development design, but little else has been added since to provide guidance, incentives and regulations to achieve conservation planning goals. It is recommended that after the comprehensive plan update is approved that the past recommendations and more recent innovations in designing development with natural systems are reviewed and that new incentives, guides and regulations are developed to implement the conservation plan. Areas previously addressed that have validity and should be considered are as follows:

- Conservation Design Ordinance – Develop a conservation design and development ordinance. Review publications, American Planning Association articles, similar ordinances and regulations and design one that serves Isanti’s needs.
- Conservation Design Performance Standards – These are standards based on efficient subdivision design and performance standards that allow density development to preserve larger tracts of open space that have existing natural systems. It minimizes clearance activities and disruption of natural drainage systems. It reduces typical subdivision needs for road and utility systems, reducing impervious surface.
- Conservation Incentives – These are incentives that are placed in conservation design ordinances or regulations to provide an economic incentive for developers to follow conservation design requirements. Typically they revolve around increased density and number of lots for a developer.
- Stormwater Incentives and Closed Basins – This is subdivision design to encourage use of closed basins for stormwater impoundment or retention. If necessary, overflow to other systems or waterways would be allowed for peak rain events.
- Open Space Protection and Management – Through revised codes developers are encouraged to provide easements for trails, open space and lands with natural systems. Such developments often use Homeowner Associations (HOA) to maintain this open space and any improvements.
- Tier Land Use Districts – The City should consider expansion of extra territorial zoning and development codes beyond the current district boundaries to areas guided for urban development in the next 20 years. In order to be accepted, there will need to be an allowance for development of rural housing clusters in accordance with current densities. Standards for such housing districts need to take conservation design standards in consideration.

Natural Systems Enhancement – Other

The following are other areas that are integral to the preservation and improvement of natural systems in the City of Isanti.

- Public Education – The need for “buy in” by the public, from school children to homeowners is necessary to have a successful program to retain and improve natural systems. The City should actively perform outreach activities to provide information in the schools and through public events. Forums to provide information and answer questions will greatly assist in the understanding how such natural systems are unique to Isanti and are of great benefit to the community and beyond.
- Wildlife Corridors – Wildlife have and will continue to use the stream and river corridors, wooded areas and wetlands in the City. They need safe travel routes between natural areas. The City needs to have these areas evaluated, mapped and preserved or planned for preservation as adjacent development occurs. The City should look for resources on a regional and State level to assist with this work.
- City Tree Canopy / Program – The developed City has areas of urban forest that contribute to the natural system in the City. Urban forests contribute with air quality, costs for heating and cooling buildings, and support for local wildlife that use tree canopies. The urban forest on participating private lands and on public property should be evaluated for both tree diversity and health. Programs using local, regional and state resources could be developed to assist with this effort. The City could also use development incentives and regulations to assist with meeting local goals.
- Natural Planting and Stormwater Gardens – Development of natural plantings on private properties, as well as rain gardens, accentuate the surrounding natural systems and provide natural filtration and benefit natural species, including pollinators and threatened species in those classifications.

Master Plan Designs

The attached figures and plans from the 2008 Comprehensive Plan Natural Resources Master Plan (source: AES), are incorporated in this update to serve as overlays and guides for natural system preservation and protection as the City develops in the next 10 years. Important Natural areas, Ownership and the Master Plan - Conservation figures have been updated and are included with this Chapter.

- Figure 5-2A – AES Landcover
- Figure - Important Natural Areas
- Figure 5-4B Subwatersheds and Flows
- Figure 5-4C Runoff Potential
- Figure - Ownership















- Figure - Isanti Master Plan – Conservation Plan

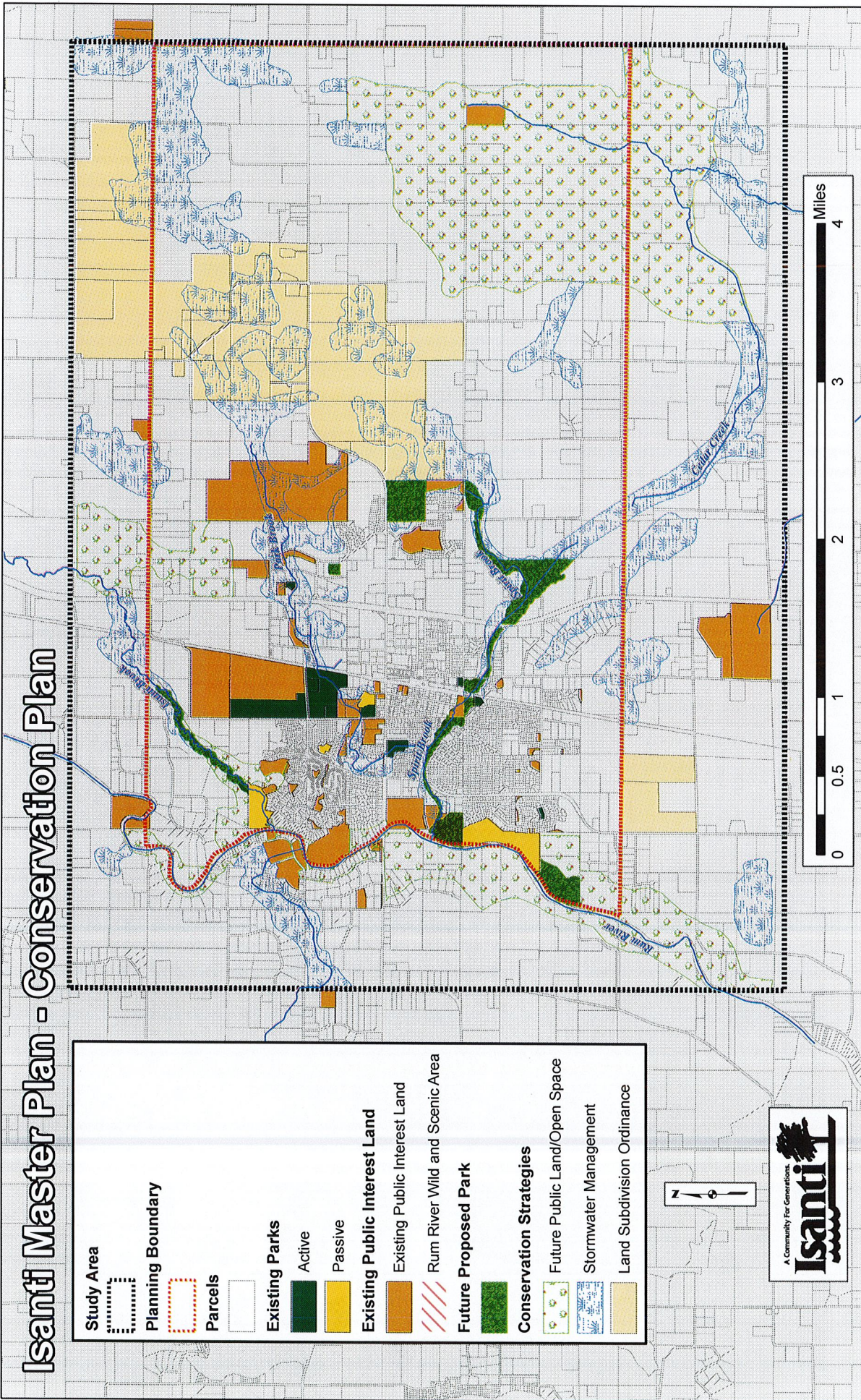
Objectives

Natural resource goals and strategies are provided in Chapter 1. The following list are additional objectives for consideration.

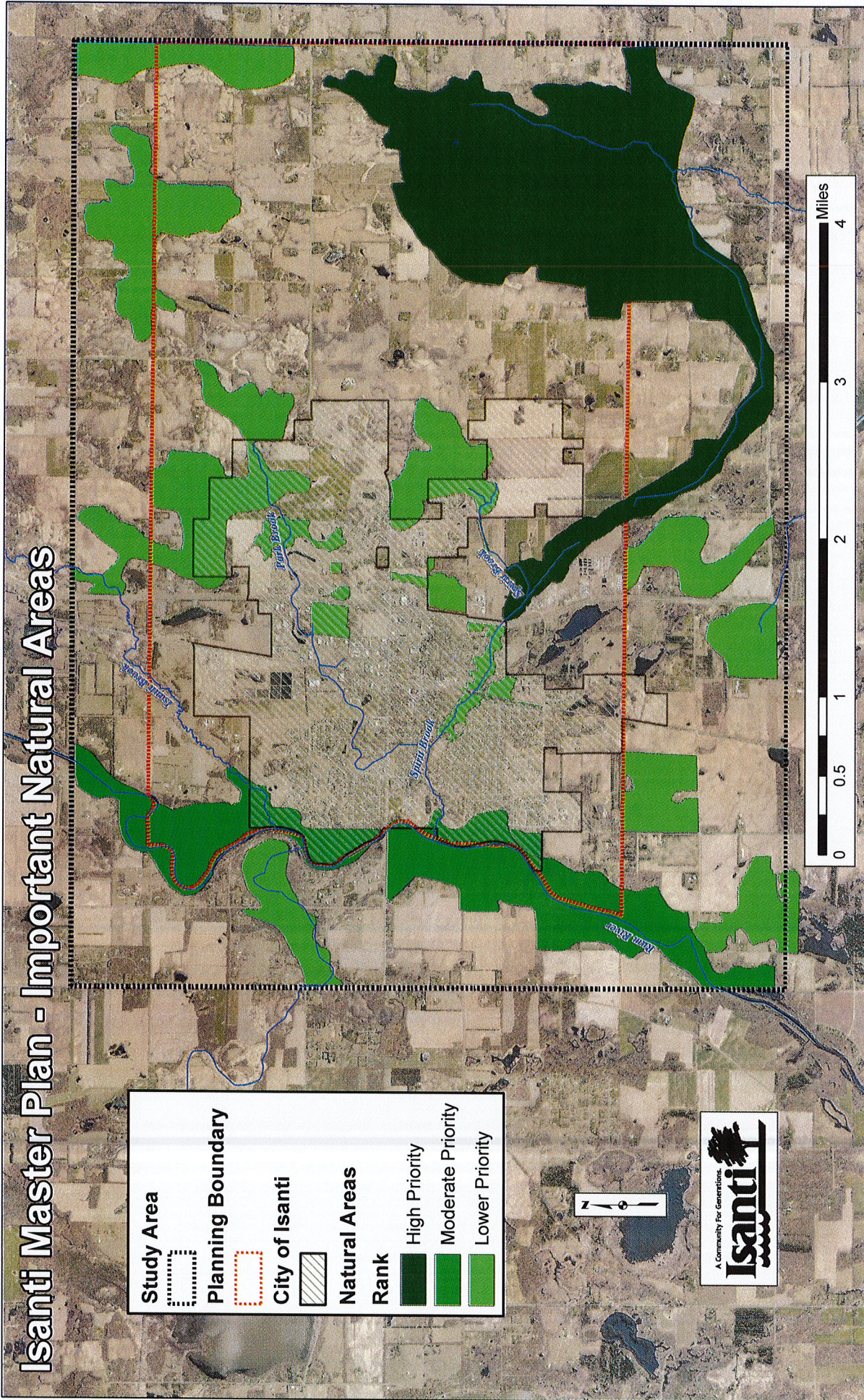
- 1) After adoption of the Comprehensive Plan Update, review and update existing land use regulations, storm water regulations and development incentives to guide and support Conservation Planning Goals in land development activities.
- 2) Develop partnerships and work with the Minnesota Department of Natural Resources, Cedar Creek Nature Reserve, Isanti Soil and Water Conservation District, local governments, and volunteer groups to achieve Conservation Planning Goals.
- 3) Educate the public on the importance of Conservation Planning. Work on Outreach Programs with the C-I School District and other groups to get information out to the public.

Isanti Master Plan - Conservation Plan

 Study Area	 Planning Boundary	 Parcels	 Existing Parks	 Active	 Passive	 Existing Public Interest Land	 Existing Public Interest Land	 Rum River Wild and Scenic Area	 Future Proposed Park	 Conservation Strategies	 Future Public Land/Open Space	 Stormwater Management	 Land Subdivision Ordinance
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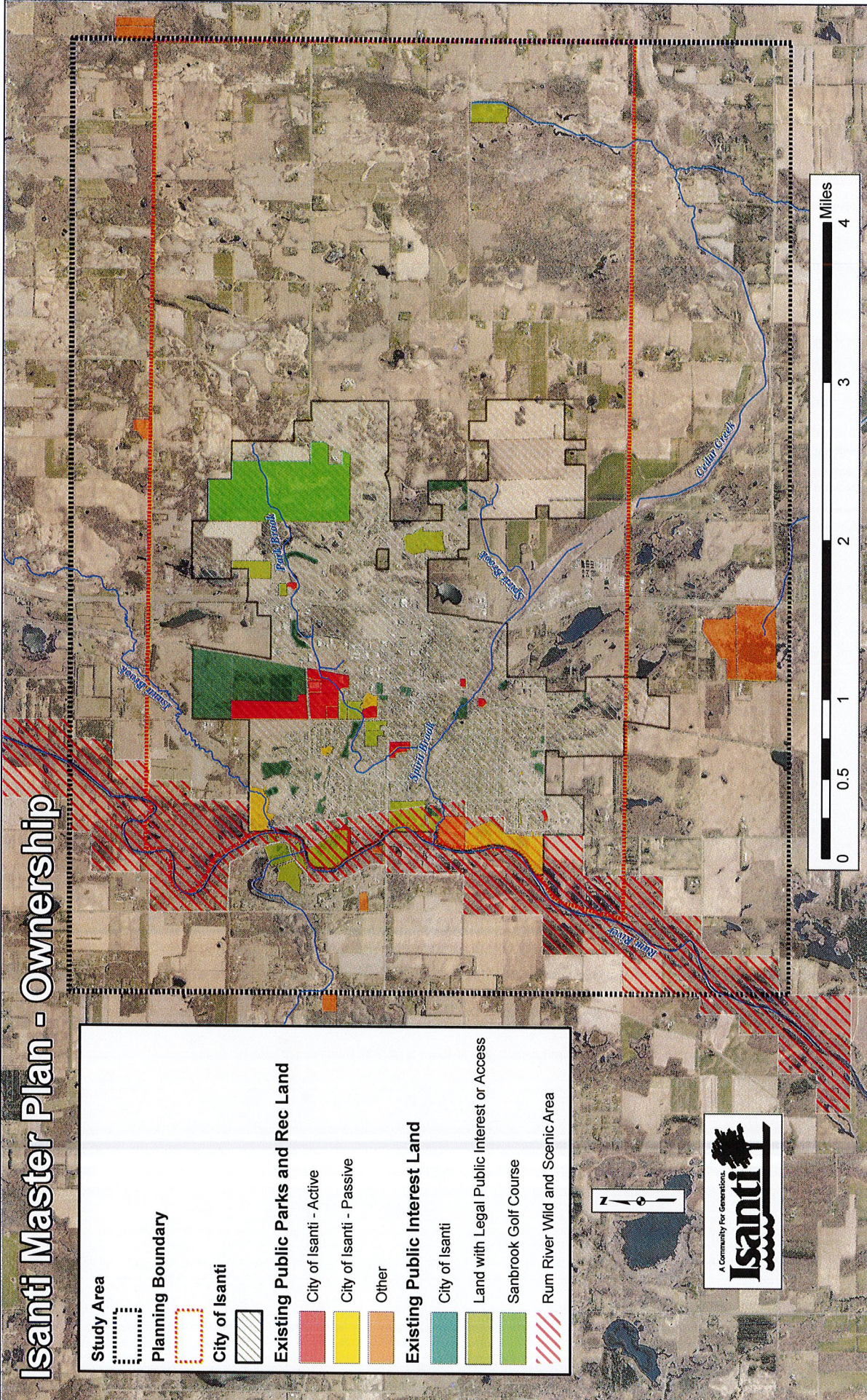
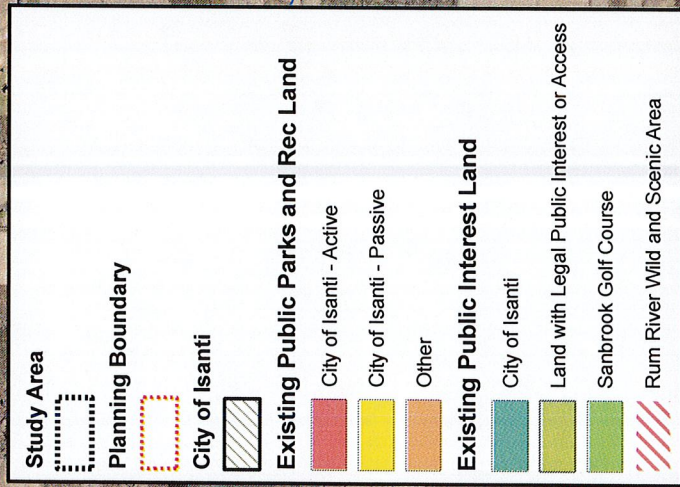
Isanti Master Plan - Important Natural Areas



Study Area	
Planning Boundary	
City of Isanti	
Natural Areas Rank	
High Priority	
Moderate Priority	
Lower Priority	



Isanti Master Plan - Ownership





**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, December 17, 2019
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - E. Agenda Modifications

- 2. Meeting Minutes**
 - A. Approval of Minutes from the November 19, 2019 Planning Commission Meeting.

- 3. Public Hearings**
 - A. A request for a Conditional Use Permit for the operation of a Microbrewery at 2 Enterprise Ave Suite D4, PID 161320040

- 4. Other Business**
 - A. Adoption of 2020 Planning Commission Calendar

- 5. Discussion Items**
 - A. Comprehensive Plan Update Open House Discussion

- 6. Adjournment**

**City of Isanti
Planning Commission Meeting Minutes
November 19, 2019**

Call to Order: Chair Johnson called the meeting to order at 7:38pm.

Roll Call: Commission members present: Mayor Jeff Johnson, Paul Bergley, Jimmy Gordon, Steve Lundeen, Dan Collison, Aryssa Simon, Alexander Collins.
Staff Present: Community Development Director Sheila Sellman, Assistant City Administrator/Special Projects Don Lorsung.

Meeting Minutes: Motion by Lundeen, second by Simon and Collins to approve meeting minutes from the September 17, 2019 meeting. Motion passed 7-0.

Public Hearing

A. A request from Art and Science Academy for a Conditional Use Permit Amendment under City Ordinance 445, Section 6, Article 3, subd 4C. Said request is for a temporary storage container at 1005 7th Avenue NE PID 16.145.0010. Sellman reviewed the staff report and explained that the findings of fact have not been met therefore staff recommended denial. Chair Johnson opened the public hearing, no one from the public spoke on this item except for the applicant, Kevin Fitton. Fitton explained that the school is at capacity and needs additional room for storage. The most cost-effective option for the school is the shipping container. When asked Fitton stated that the least amount of time for the storage container would be five years but he is requesting 7-10 years. The school plans to expand but needs funding and approvals. Lundeen explained that a few years back the city made an effort to remove storage containers from several properties in the city and it would not be fair to allow this now. The Commission suggested building a garage since they will need storage even after the school addition. Fitton said it was not feasible for them to do that. Gordon stated he could support the container for five years. Collins had concerns about the timeline to build the addition. Johnson closed the public hearing at 8:05pm.

Gordon motioned to approve the storage container for five years, Simon seconded the motion, the motion failed 5-2. AYE Gordon and Collins NAY: Johnson, Lundeen, Collison, Bergley and Simon.

Gordon made another motion to approve the storage container for three years, Simon seconded the motion. Motion failed 4-3. AYE: Gordon, Collins, Simon. NAY: Johnson, Collison, Bergley, Lundeen.

Other Business

A. Comprehensive Plan Update

- a) Chapter 4 – The Economy: Lorsung reviewed the Economic Development efforts over the past 10-years and projected growth trends along with other key points of the chapter. The Commission had no questions or comments
- b) Chapter 5 – Natural Resources: Lorsung reviewed the goals to maintaining natural systems and other key points of the chapter. The Commission had no questions or comments.

B. Commissioner terms expire 12-31-119 (except for Collins 12-31-21): Sellman asked Simon if she wanted to be on the Commission again and she expressed interest. Simon will need to submit an application. Sellman also explained that we will advertise for the open seat.

Discussion Items: None

Adjournment: Motion by Lundeen, second by Bergley to adjourn, motion passed meeting adjourned at 8:30pm.

Respectfully Submitted
Sheila Sellman, Community Development Director

DRAFT



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: December 17, 2019

SUBJECT: Conditional Use Permit to operate a microbrewery at 2 Enterprise Ave

Overview/Background

The applicant was approved for a Conditional Use Permit (CUP) on February 7, 2018, for a microbrewery at this proposed location. According to City Code Section 21 Subd. 7 if within one year after a CUP has been granted, the permitted work is not completed, the permit shall become null and void. The CUP expired February 7, 2019. The applicant is preparing to open and therefore needs a new CUP.

Analysis of Application

Zoning: The subject property is located at 2 Enterprise Ave NE, and is part of a larger existing building. This property falls within the TH-65 Overlay District of the B-2 Zoning Code. 'Microbrewery' is a Conditional Use in the TH-65 Overlay District.

Parking and Traffic: The parcel is already developed. According to the applicant, there will be up to 50 seats for patrons and up to four employees at a given time. Sit-down restaurants require one stall per 3 seats and 1 space per employee. In this case, 20 stalls would be required. The parking is shared in this location; however, the additional stalls should be striped.

Section 21, Article 2, Subd. 4 addresses performance standards for Conditional Use Permit. The standards and staff responses (*italicized*) are below:

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.
Staff believes that the existing street is of sufficient capacity to accommodate the type and volume of traffic as a result of this development.
- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.

The proposed CUP will be in an existing building that already is designed for access and parking. All parking is met under Section 17 of this Ordinance.

- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.
Parking for this development does not impact pedestrian circulation.
- D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.
Adequate off-street parking and off-street loading is provided in accordance with section 17 of this ordinance.
- E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.
This section is met.
- F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.
This area is surrounded by commercial and industrial uses. This section is met.
- G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.
This section is met.
- H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.
Existing lighting complies with our zoning code. This section is met.
- I. The site drainage system shall be subject to the review and approval of the City Engineer.
This is an already developed site, existing stormwater management has been reviewed and approved.
- J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.
The building already exists, and as such, is compliant with our zoning code.
- K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.
Existing garbage facilities will be used for trash and recycling purposes.

- L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.
The applicant will need to submit a sign permit for review and approval prior to any signage associated with this development being installed.
- M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.
The applicant will be required to obtain all proper licensing from the City, State, County, and Federal Governments as deemed necessary. To date applications have been sent into the state and city liquor licenses have been applied for.
- N. Any applicable business licenses mandated by City Code are approved and obtained.
The applicant may be required to obtain proper licensing from the City, State, County, and Federal Government as deemed necessary. To date applications have been sent into the state and city liquor licenses have been applied for.
- O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.
This property is in a commercial district, and as such, this section is non-applicable.
- P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated.
This use complies with the performance standards of the zoning district.
- Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.
Any additional stipulations will be included in the final resolution passed by the City Council.

Staff Recommendation

Staff recommends approval with the following conditions:

- 1) The additional parking stalls along the south parking lot shall be painted as approved in the original development.
- 2) Any applicable licensing and permits shall be obtained from the proper City, State, County, and Federal Governments as deemed necessary.
- 3) Signage to be applied for and reviewed by the City prior to installation.

Attachments

None

2020 Planning Commission Public Hearing Deadlines and Dates

The City Planning Commission shall hold regular meetings immediately following the 7:00 p.m. City Council Meeting on the 3rd Tuesday of every month at Isanti City Hall. All meetings are held at Isanti City Hall at 110 1st Avenue NW, Isanti, MN 55040 in the City Council Chambers. The 2020 scheduled meeting dates and deadlines are below:

Meeting Date	Deadline for Submission	Public Hearing Deadline	PH Publication Date
January 21st	December 20 th	January 3 rd	January 9 th
February 18th	January 17 th	January 31 st	February 6 th
March 17th	February 21 st	February 28 th	March 5 th
April 21st	March 20 th	March 27 th	April 2 nd
May 19th	April 17 th	April 24 th	April 30 th
June 16th	May 15 th	May 22 nd	May 28 th
July 21	June 19 th	June 29 th	July 2 nd
August 18th	July 17 th	July 24 th	July 30 th
September 15th	August 21 st	August 28 th	September 3 rd
October 20th	September 18 th	September 25 th	October 1 st
November 17th	October 16 th	October 23 rd	October 29 th
December 15th	November 20 th	November 20 th	November 26
*January 26 2020	December 18 th	January 1 st	January 5 th

*subject to change